

" THE RESERVE "

AT TAMARAC FILING NO. 1

Teller County, Colorado

KNOW ALL MEN BY THESE PRESENTS:

THAT THE SAGE CO., BEING THE OWNER OF THAT TRACT OF LAND LOCATED IN SECTION 12, TOWNSHIP 12 SOUTH, RANGE 69 WEST OF THE 6th P.M.,
TELLER COUNTY, COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF THE SOUTHWEST QUARTER (SE1/4) OF THE NORTHWEST QUARTER (NW1/4) OF SAID SECTION 12; THENCE S 00° 03' 46" E A DISTANCE OF 38.84 FEET TO THE NORTHWEST CORNER OF SUNNYWOOD MANOR FILING NO. 5, AS MONUMENTED, THE PLAT OF WHICH IS RECORDED IN PLAT BOOK 1 AT PAGES 74 AND 75 UNDER RECEPTION NUMBER 318870 OF THE RECORDS OF TELLER COUNTY, COLORADO; THENCE S 01° 01' 41" E ON THE WEST LINE OF SAID SUNNYWOOD MANOR FILING NO. 5, AS MONUMENTED, A DISTANCE OF 1317.91 FEET TO A POINT ON THE SOUTH LINE OF THE SOUTHWEST QUARTER (SW1/4) OF THE NORTHEAST QUARTER (NE1/4) OF SAID SECTION 12; THENCE N 89° 48' 07" W ON SAID SOUTH LINE A DISTANCE OF 1.32 FEET TO THE SOUTHWEST CORNER THEREOF; THENCE N 89° 48' 07" W ON THE SOUTH LINE OF SAID SE1/4 NW1/4 A DISTANCE OF 1329.29 FEET TO THE SOUTHWEST CORNER THEREOF; THENCE S 02° 46' 43" E ON THE EAST LINE OF THE WEST HALF (W1/2) OF THE SOUTHWEST QUARTER (SW1/4) OF SAID SECTION 12 A DISTANCE OF 1743.54 FEET; THENCE NORTHWESTERLY ON THE ARC OF A CURVE TO THE LEFT BEING FIFTY FEET NORTHEASTERLY FROM AND PARALLEL TO THE EXISTING CENTER LINE OF COLORADO STATE HIGHWAY 67, SAID CURVE HAVING A CENTRAL ANGLE OF 38° 10' 41" A RADIUS OF 2198.59 FEET AND AN ARC LENGTH OF 1464.99 FEET, THE CHORD OF WHICH BEARS N 31° 45' 02" W A DISTANCE OF 1436.04 FEET; THENCE N 50° 50' 22" W ON THE FORWARD TANGENT OF THE LAST MENTIONED CURVE, FIFTY FEET NORTHEASTERLY FROM AND PARALLEL TO THE AFOREMENTIONED EXISTING CENTER LINE, A DISTANCE OF 473.25 FEET; THENCE N 66° 34' 09" E A DISTANCE OF 387.46 FEET; THENCE N 77° 34' 03" E A DISTANCE OF 340.00 FEET; THENCE N 84° 09' 38" E A DISTANCE OF 135.00 FEET; THENCE S 05° 50' 22" E A DISTANCE OF 142.88 FEET; THENCE N 84° 09' 38" E A DISTANCE OF 50.00 FEET; THENCE N 05° 50' 22" W A DISTANCE OF 142.88 FEET; THENCE ON A CURVE TO THE LEFT WHICH CURVE HAS A CENTRAL ANGLE OF 05° 16' 22" A RADIUS OF 830.00 AND AN ARC LENGTH OF 30.37 FEET, THE CHORD OF WHICH BEARS N 08° 28' 33" W A DISTANCE OF 30.36 FEET; THENCE N 56° 48' 02" E A DISTANCE OF 49.16 FEET; THENCE N 35° 42' 00" E A DISTANCE OF 110.00 FEET; THENCE S 34° 26' 17" E A DISTANCE OF 284.80 FEET; THENCE N 25° 09' 38" E A DISTANCE OF 240.00 FEET; THENCE ON A CURVE TO THE RIGHT WHICH CURVE HAS A CENTRAL ANGLE OF 60° 00' 00" A RADIUS OF 330.00 FEET AND AN ARC LENGTH OF 345.58 FEET, THE CHORD OF WHICH BEARS N 55° 09' 38" E A DISTANCE OF 330.00 FEET; THENCE N 05° 09' 38" E ON THE FORWARD TANGENT OF THE LAST MENTIONED CURVE A DISTANCE OF 116.91 FEET; THENCE ON A CURVE TO THE LEFT WHICH CURVE HAS A CENTRAL ANGLE OF 48° 00' 00" A RADIUS OF 310.00 FEET AND AN ARC LENGTH OF 259.70 FEET, THE CHORD OF WHICH BEARS N 61° 09' 38" E A DISTANCE OF 252.18 FEET; THENCE N 37° 09' 38" E ON THE FORWARD TANGENT OF THE LAST MENTIONED CURVE A DISTANCE OF 50.00 FEET; THENCE ON A CURVE TO THE RIGHT WHICH CURVE HAS A CENTRAL ANGLE OF 34° 28' 15" A RADIUS OF 330.00 FEET AND AN ARC LENGTH OF 198.54 FEET, THE CHORD OF WHICH BEARS N 64° 23' 46" E A DISTANCE OF 195.56 FEET; THENCE N 18° 22' 07" W A DISTANCE OF 95.13 FEET; THENCE N 03° 20' 41" E A DISTANCE OF 154.26 FEET; THENCE N 30° 06' 09" E A DISTANCE OF 158.30 FEET; THENCE N 00° 12' 25" E A DISTANCE OF 281.88 FEET TO A POINT ON THE NORTH LINE OF THE AFOREMENTIONED SE1/4 NW1/4 SECTION 12; THENCE S 89° 47' 35" E ON SAID NORTH LINE A DISTANCE OF 445.00 FEET TO THE TRUE POINT OF BEGINNING, CONTAINING 41.314 ACRES MORE OR LESS, HAVING CAUSED SAID TRACT OF LAND TO BE SURVEYED, SUBDIVIDED AND PLATTED INTO LOTS, STREETS AND EASEMENTS AS SHOWN ON THE ACCOMPANYING PLAT, WHICH PLAT IS DRAWN TO A FIXED SCALE AS INDICATED THEREON AND ACCURATELY SETS FORTH THE BOUNDARIES AND DIMENSIONS OF SAID TRACT OF LAND AND THE SUBDIVISION THEREOF AND DO HEREBY RATIFY AND CONFIRM THIS PLAT IN EACH AND EVERY RESPECT; SAID SUBDIVISION SHALL BE KNOWN AS "THE RESERVE" AT TAMARAC, FILING NO. 1, TELLER COUNTY, COLORADO. ALL STREETS AS PLATTED ARE HEREBY DEDICATED TO TELLER COUNTY FOR PUBLIC USE.

IN WITNESS WHEREOF:

THE UNDERSIGNED F.B. HOWES, JR. AND STEPHEN L. SCOTT, GENERAL PARTNERS, HAVE CAUSED THESE PRESENTS TO BE
EXECUTED THIS 3rd DAY OF SEPTEMBER, 1985 A.D.

F.B. Howes Jr.
F.B. HOWES, JR., GENERAL PARTNER
THE SAGE CO.

Stephen L. Scott
STEPHEN L. SCOTT, GENERAL PARTNER
THE SAGE CO.

STATE OF COLORADO)
COUNTY OF TELLER)

THE ABOVE AND FOREGOING STATEMENT WAS ACKNOWLEDGED BEFORE ME THIS 3rd DAY OF September,
1985 A.D. BY F.B. HOWES, JR., GENERAL PARTNER AND STEPHEN L. SCOTT, GENERAL PARTNER OF THE SAGE CO.

WITNESS MY HAND AND OFFICIAL SEAL

MY COMMISSION EXPIRES 9/28/87

Cynthia A. Dye
NOTARY PUBLIC

CERTIFICATE

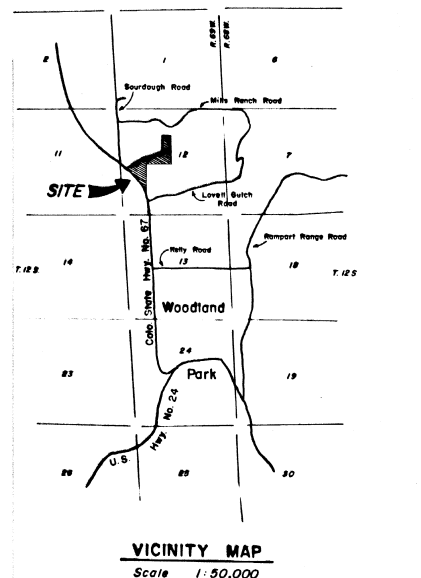
I, MELVIN L. MARCH, A REGISTERED LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS TRACT WAS
SURVEYED, SUBDIVIDED, AND PLATTED UNDER MY SUPERVISION, AND THAT SAID PLAT ACCURATELY SHOWS THE DESCRIBED TRACT OF LAND
AND THE SUBDIVISION THEREOF TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Melvin L. March
MELVIN L. MARCH, P.L.S.
COLO. REG. NO. 15672

THE DECLARANT HEREON RESERVES UNTO THEMSELVES, THEIR HEIRS AND ASSIGNS A TWENTY (20) FOOT DRAINAGE AND
UTILITY EASEMENT ALONG ALL SIDE AND REAR LOT LINES, LYING TEN (10) FEET ON EITHER SIDE OF SAID LOT LINES, AND FURTHER
RESERVES A TEN (10) FOOT DRAINAGE AND UTILITY EASEMENT LYING ALONG THE PERIMETER BOUNDARY.

NOTICE: According to Colorado law you must commence any legal action based upon any defect in this survey within six
years after you first discover such defect. In no event, may any action based upon any defect in this survey be commenced
more than ten years from the date of certification shown hereon.

PROSPECTIVE PURCHASERS AND FUTURE OWNERS OF LOTS 20 THRU 25, AND 29 THRU 31 ARE HEREBY ADVISED THAT DUE TO THE NATURE OF THE
TERRAIN OF SAID LOTS AND THE UNCERTAINTY OF BUILDING PLACEMENT UPON SAID LOTS, CONSULTATION WITH THE TELLER COUNTY BUILDING DEPARTMENT
AND SOILS ENGINEERS IS ADVISABLE PRIOR TO CONSTRUCTION OF ANY RESIDENTIAL IMPROVEMENTS.



APPROVALS:

THE ADJOINING PLAT WAS APPROVED BY THE PLANNING COMMISSION OF TELLER COUNTY, COLORADO, THIS 13th DAY
OF August, 1985 A.D.

James H. Brunlee
CHAIRMAN

THE ADJOINING PLAT WAS APPROVED BY THE BOARD OF COUNTY COMMISSIONERS OF TELLER COUNTY, COLORADO, THIS 5th
DAY OF September, 1985 A.D.

Donnie F. Lathrop
CHAIRMAN

June G. Lathrop
MEMBER

RECORDING:

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD IN MY OFFICE AT 12:30 O'CLOCK P.M., THIS 5th
DAY OF September, 1985 A.D., AND IS DULY RECORDED IN PLAT BOOK 5 AT PAGES 36A, 37A AND 38A
UNDER RECEPTION NUMBER 385623.

Robert J. Smith
COUNTY CLERK AND RECORDER

MARCH SURVEYING

220 N. Carter
Woodland Park, CO 80863
(303) 687-6999

Sheet 1 of 3 Sheets

February, 1985

J-36A

"THE RESERVE"

AT TAMARAC FILING NO. 1

Teller County, Colorado

$\Delta = 05^{\circ}16'22''$
 $R = 330.00'$
 $L = 30.37'$
 $CH = N08^{\circ}28'33''W$
 $30.36'$

NOTE: There shall be no access to Lots 1, 2, 3, 4, 5, 6, 7 and 16 from Colorado State Hwy. No. 67.

CENTER LINE CURVE DATA			
No.	Central Angle	Radius	Length
10	22°00'00"	300.00'	115.19'
14	59°00'00"	250.00'	257.44'

R.O.W. CURVE DATA			
No.	Central Angle	Radius	Length
1	36°01'56"	2214.59'	1392.71'
2	15°00'00"	163.11'	42.70'
3	105°00'00"	26.75'	49.01'
4	90°00'00"	24.84'	39.02'
5	14°41'37"	260.00'	66.68'
6	150°18'23"	12.50'	32.79'
7	18°42'30"	290.00'	94.69'
8	60°00'00"	100.00'	104.72'
9	28°17'30"	180.00'	73.42'
11	24°20'36"	100.55'	42.72'
12	225°00'00"	55.00'	215.98'
13	20°39'24"	100.55'	36.25'

LEGEND

- Monument set, 5/16" Aluminum Cap, L.S. 15672
- Monument set, No. 4 Rebar & Cap, L.S. 15672
- ① Curve number
- ⊙ Radial to curve
- Monument found, Rebar & Cap, L.S. 7228

MARCH SURVEYING

230 S. Center
Woodland Park, CO 80903
(303) 687-0089

Sheet 2 of 3 Sheets

February, 1998

J-37A

" THE RESERVE "

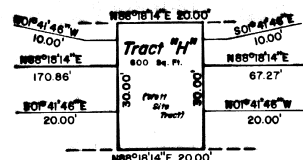
AT TAMARAC

FILING NO. 1

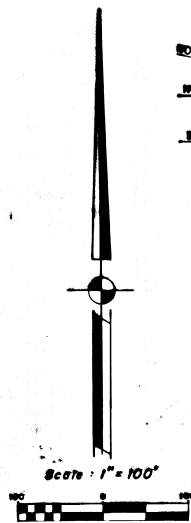
Teller County, Colorado

CENTER LINE CURVE DATA			
No.	Central Angle	Radius	Length
14	59°00'00"	250.00'	257.44'
15	60°00'00"	300.00'	314.16'
16	48°00'00"	340.00'	284.84'
17	81°38'04"	300.00'	427.44'
21	20°01'55"	566.73'	198.14'

R.O.W. CURVE DATA			
No.	Central Angle	Radius	Length
18	22°29'50"	100.55'	39.48'
19	22°50'00"	55.00'	215.98'
20	22°29'50"	100.55'	39.48'
22	22°29'50"	100.55'	39.48'
23	22°50'00"	55.00'	215.98'
24	22°29'50"	100.55'	39.48'

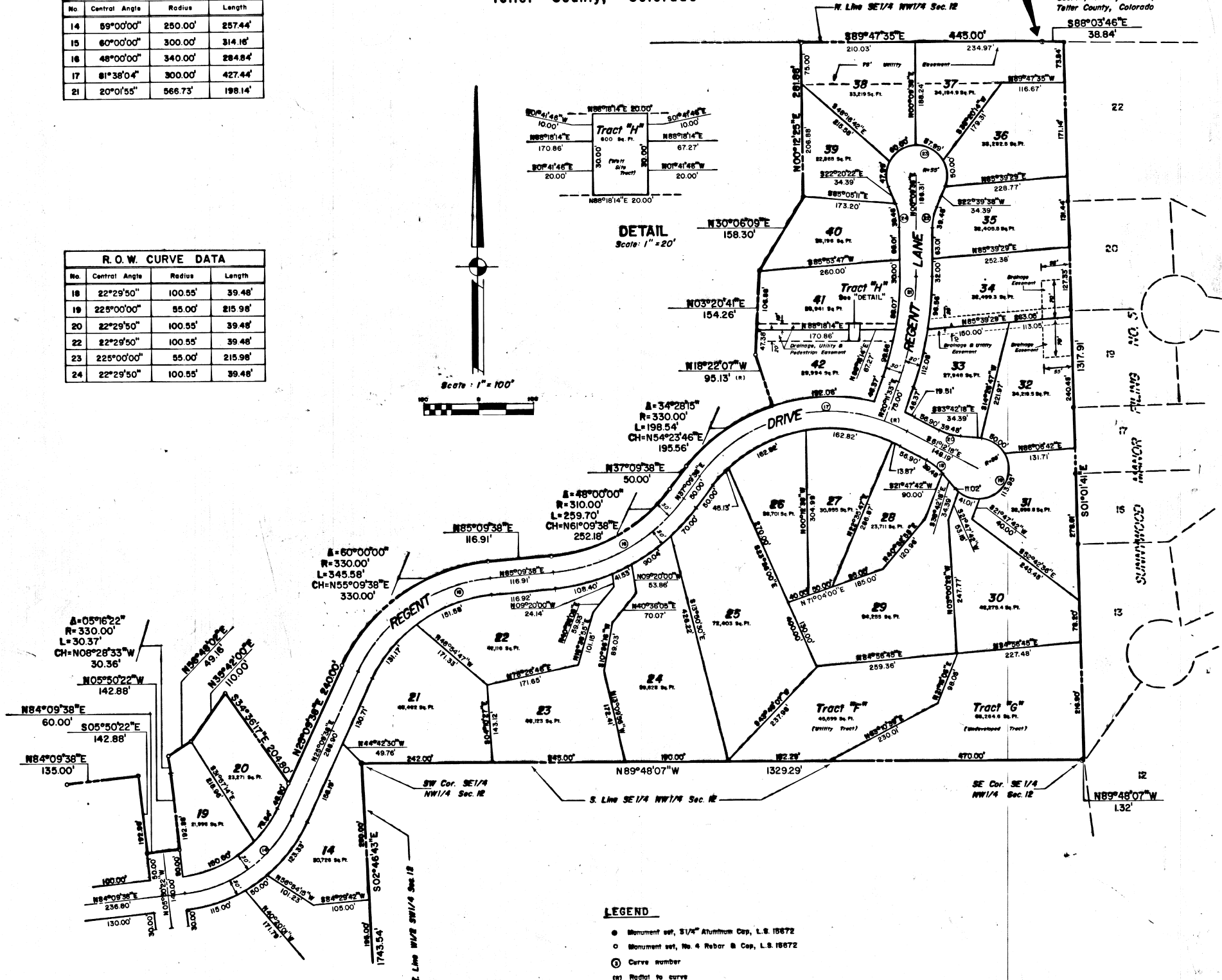


DETAIL
Scale: 1" = 20'



P.O.B.

NE Cor. SE 1/4 NW 1/4
Sec. 12, T.12S., R. 69W., 6th PM.
Teller County, Colorado



LEGEND

- Monument set, 5/4" Aluminum Cap, L.S. 15672
- Monument set, No. 4 Rebar & Cap, L.S. 15672
- ① Curve number
- (r) Radial to curve
- Monument found, Rebar & Cap, L.S. 7228

MARCH SURVEYING

250 N. Center
Woodland Park, CO 80905
(303) 687-0959