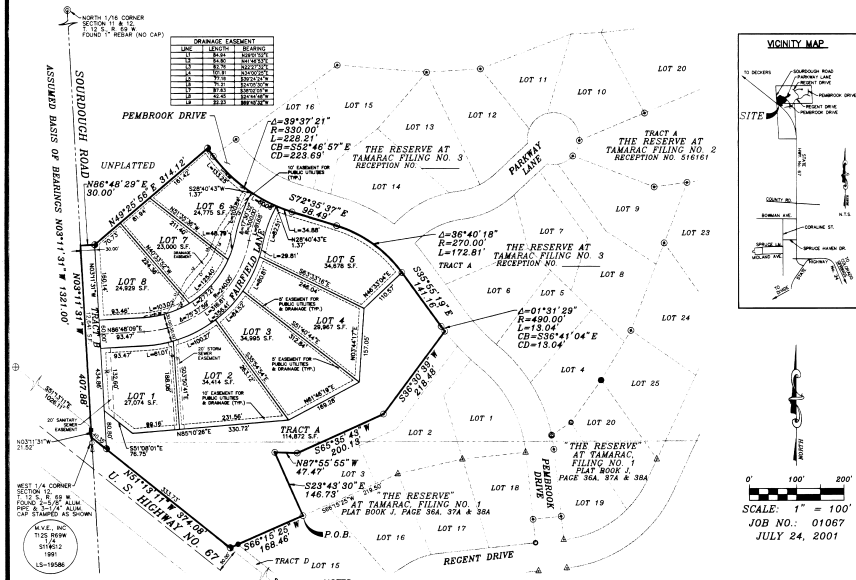


FINAL PLAT - "THE RESERVE" AT TAMARAC FILING NO. 4 LOCATED IN THE NORTHWEST ONE-QUARTER AND THE NORTH ONE-HALF OF THE SOUTHWEST ONE-QUARTER OF SECTION 12, TOWNSHIP 12 SOUTH, RANGE 69 WEST OF THE 6TH P.M., IN THE CITY OF WOODLAND PARK, TELLER COUNTY, COLORADO



KNOW ALL MEN BY THESE PRESENTS:

THAT R. P. PARTNERS, L.L.P., DANA DUNCAN, MANAGER, BEING THE OWNERS OF THE FOLLOWING DESCRIBED TRACT OF LAND:

TO WIT:

A TRACT OF LAND LOCATED IN THE NORTHWEST ONE-QUARTER (NW 1/4) AND THE NORTH ONE-HALF OF THE SOUTHWEST ONE-QUARTER (N 1/2 SW 1/4) OF SECTION 12, TOWNSHIP 12 SOUTH, RANGE 69 WEST OF THE 6TH P.M., MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF LOT 3, "THE RESERVE" AT TAMARAC FILING NO. 3 AS RECORDED UNDER RECEIPTION NO. 0106701 OF THE RECORDS OF THE TELLER COUNTY CLERK AND RECORDED; THENCE S68°15'25"W ALONG THE NORTH LINE OF LOT 15, "THE RESERVE" AT TAMARAC FILING NO. 1 AS RECORDED IN PLAT BOOK J AT PAGE 35A, 37A AND 38A OF SAID RECORDS; A DISTANCE OF 158.48 FEET TO THE NORTHEASTLY CORNER OF LOT 15, TOWNSHIP 12 SOUTH, RANGE 69 WEST OF THE 6TH P.M. BY A 1" REBAR (NO CAP), WHICH BEARS N03°11'31"W, THENCE N03°11'31"W ALONG THE WEST LINE OF SAID NW 1/4, A DISTANCE OF 407.88 FEET; THENCE N80°48'29"E, A DISTANCE OF 30.00 FEET TO A POINT THAT IS 30.00 FEET AS MEASURED PERPENDICULAR TO SAID LINE; THENCE N42°25'56"E, A DISTANCE OF 314.12 FEET TO A POINT ON A CURVE; THENCE ALONG A 330.00 FOOT RADIUS CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 39°37'21", AN ARC DISTANCE OF 228.21 FEET, WHOSE CHORD BEARS S52°48'57"E, A DISTANCE OF 228.21 FEET TO A POINT OF TANGENT; THENCE S72°35'57"E, A DISTANCE OF 98.48 FEET TO A POINT OF CURVE; THENCE ALONG A 270.00 FOOT RADIUS CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 34°01'18", AN ARC DISTANCE OF 172.81 FEET TO A POINT OF TANGENT; THENCE S03°50'19"E, A DISTANCE OF 141.16 FEET TO A POINT OF CURVE; THENCE ALONG A 480.00 FOOT RADIUS CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 01°31'29", AN ARC DISTANCE OF 13.04 FEET, WHOSE CHORD BEARS S04°14'04"E, A DISTANCE OF 13.04 FEET TO THE NORTHEAST CORNER OF SAID LOT 3; THENCE S03°30'39"W ALONG THE NORTHWEST LINE OF SAID LOT 3, A DISTANCE OF 218.48 FEET; THENCE S05°52'47"W ALONG THE NORTHWEST LINE OF SAID LOT 3, A DISTANCE OF 2001.3 FEET; THENCE N07°55'55"W ALONG THE NORTHERLY LINE OF SAID LOT 3, A DISTANCE OF 47.47 FEET TO THE NORTHWEST CORNER OF SAID LOT 3; THENCE S23°43'30"E ALONG THE WESTERLY LINE OF SAID LOT 3, A DISTANCE OF 145.73 FEET TO THE POINT OF BEGINNING AND CONTAINING 8.887 ACRES OF LAND MORE OR LESS.

DEDICATION:

THE UNDERSIGNED OWNER HAS CAUSED SAID LOT TO BE PLATTED INTO STREETS, LOTS, PARKS AND EASEMENTS AS SHOWN ON THE PLAT. THE UNDERSIGNED DOES HEREBY GRANT INTO THE CITY OF WOODLAND PARK THOSE STREETS, PARKS AND EASEMENTS, RIGHTS-OF-WAY AND AREAS FOR PUBLIC USE SHOWN ON THE PLAT. THE SOLE RIGHT AND AUTHORITY TO RELEASE OR CONVEY ALL OR ANY SUCH EASEMENT, RIGHTS-OF-WAY AND AREAS FOR PUBLIC USE SHALL REMAIN EXCLUSIVELY VESTED IN THE CITY OF WOODLAND PARK. ALL STREETS ARE HEREBY DEDICATED TO THE CITY OF WOODLAND PARK FOR PUBLIC USE. ALL EASEMENTS SHALL RETAIN THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE OF IMPROVEMENTS. NO PERMANENT STRUCTURES EXCEPT FENCING SHALL BE ALLOWED ON ANY EASEMENT. THIS TRACT OF LAND AS HEREIN PLATTED SHALL BE KNOWN AS "THE RESERVE" AT TAMARAC FILING NO. 4" IN THE CITY OF WOODLAND PARK, TELLER COUNTY, COLORADO.

SURVEYOR'S CERTIFICATION:

THE UNDERSIGNED REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, HEREBY CERTIFIES THAT THE ACCOMPANYING PLAT WAS SURVEYED AND DRAWN UNDER HIS DIRECT SUPERVISION AND ACCURATELY SHOWS THE DESCRIBED TRACT OF LAND AND SUBDIVISION THEREOF; AND THAT THE REQUIREMENTS OF TITLE 38 OF THE COLORADO REVISED STATUTES, 1973 AS AMENDED, HAVE BEEN MET TO THE BEST OF HIS KNOWLEDGE AND BELIEF.

NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

KEVIN F. LLOYD
COLORADO PROFESSIONAL
LAND SURVEYOR NO. 26965

IN WITNESS WHEREOF:

THE AFORESAIDED, R. P. PARTNERS, L.L.P., OWNERS, HAVE EXECUTED THIS INSTRUMENT THIS 20th DAY OF November, 2001, A.D.

DANA DUNCAN, MANAGER



STATE OF COLORADO }
COUNTY OF TELLER } ss

THE ABOVE AND AFORESAIDED INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS

20 DAY OF November, 2001, A.D., BY DANA DUNCAN, MANAGER.

WITNESS MY HAND AND OFFICIAL SEAL:

MY COMMISSION EXPIRES: 7-31-02 James A. Hughes
NOTARY PUBLIC

APPROVAL BY THE PLANNING COMMISSION:

APPROVED BY THE PLANNING COMMISSION FOR THE CITY OF WOODLAND PARK, COLORADO THIS 13th DAY OF September, 2001, A.D.
Kevin F. Lloyd ATTEST: Patricia Manini
CHAIRMAN RECORDING SECRETARY
PLANNING COMMISSION

APPROVAL BY THE CITY COUNCIL:

THIS PLAT AND THE DEDICATION TO THE PUBLIC OF THE STREETS AND PUBLIC WAYS SHOWN HEREON, AND THE PUBLIC UTILITY EASEMENTS AS SHOWN ARE HEREBY ACCEPTED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF WOODLAND PARK, COLORADO THIS 4th DAY OF October, 2001, A.D.
Paula Port ATTEST: Chris Mene
CITY CLERK

RECORDING:

STATE OF COLORADO }
COUNTY OF TELLER } ss

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD IN MY OFFICE AT

3:20 O'CLOCK P. M. THIS 21st DAY OF November

2001, A.D., AND IS DULY RECORDED IN PLAT BOOK N/A AT PAGE N/A UNDER

FILE 526493

BY James M. Hughes
TELLER COUNTY CLERK AND RECORDER

COUNTY TREASURER:

ALL TAXES ASSESSED AND DUE ON THE PROPERTY DESCRIBED ABOVE HAVE BEEN PAID IN FULL. SIGNED THIS 21st DAY OF November, 2001, A.D.

James M. Hughes
TELLER COUNTY TREASURER

"THE RESERVE" AT TAMARAC FILING NO. 4
LOCATED IN NW 1/4 & N 1/2 SW 1/4, SEC. 12, T12S, R69W

R E S E R V E
S U R V E Y S

P.O. Box 5101
Woodland Park, CO 80866
(719) 687-0920

DRAWING: 0106701.DWG PAGE 1 OF 1

FINAL REVISIONS: OCTOBER 10, 2001

- LEGEND:**
- 1. SET 5/8" REBAR AND RED CAP STAMPED "RAMPART PLS NO. 26965"
 - 2. FOUND 5/8" REBAR AND RED CAP STAMPED "RAMPART PLS NO. 26965"
 - 3. FOUND 1/2" REBAR AND BLUE CAP STAMPED "MARCH 15 1997"
 - 4. FOUND 1/2" REBAR AND BROKEN BLUE CAP STAMPED "LS 15672"
 - 5. FOUND 1/2" REBAR AND BROKEN BLUE CAP STAMPED "LS 15672"
 - 6. FOUND 5/8" REBAR (NO CAP)
 - 7. FOUND 1/2" REBAR AND 1-1/2" ALUMINUM CAP STAMPED "JR ENG LS 25569"
 - 8. FOUND 1-1/2" ALUMINUM CAP
 - 9. FOUND 1/4 SECTION CORNER, AS SHOWN
 - 10. FOUND 1/16 SECTION CORNER, AS SHOWN
 - 11. FOUND 3" BRASS CAP, STAMPED AS SHOWN BELOW
- NOTES:**
1. NO BUILDING PERMITS SHALL BE ISSUED FOR BUILDING SITES WITHIN THIS PLAT UNTIL ALL REQUIRED FEES HAVE BEEN PAID AND ALL REQUIRED PUBLIC IMPROVEMENTS AND UTILITIES HAVE BEEN INSTALLED AS SPECIFIED BY THE CITY OF WOODLAND PARK OR ALTERNATIVELY, UNTIL ACCEPTABLE ASSURANCES GUARANTEEING THE PAYMENT OF THE FEES AND THE COMPLETION OF ALL REQUIRED PUBLIC IMPROVEMENTS AND UTILITIES HAVE BEEN PLACED ON FILE WITH THE CITY OF WOODLAND PARK. ALL EXPENSES INVOLVED IN NECESSARY IMPROVEMENTS TO THE WATER SYSTEM, SANITARY SEWER SYSTEM, GAS SERVICE, ELECTRICAL SERVICE, DRAINAGE SYSTEM AND STREET SYSTEM SHALL BE FINANCED BY THE SUBDIVIDER, NOT THE CITY. THE APPROVAL OF THIS PLAT MAY BE WITHDRAWN IF ALL CONDITIONS OF APPROVAL ARE NOT MET.
 2. ALL BEARINGS USED HEREIN ARE BASED ON THE EAST LINE OF THE SW 1/4 OF THE NW 1/4 OF SECTION 12, T. 12 S., R. 69 W. OF THE 6TH P.M. MONUMENTED AT THE WEST ONE-QUARTER CORNER BY A 2-1/2" ALUMINUM PIPE AND 3-1/4" ALUMINUM CAP BY LS 15588 AND AT THE NORTH ONE-SIXTEENTH CORNER OF SECTIONS 11 AND 12, T. 12 S., R. 69 W. OF THE 6TH P.M. BY A 1" REBAR (NO CAP) AND ASSUMED TO BEAR N03°11'31"W.
 3. THIS PLAT DOES NOT CONSTITUTE A TITLE SEARCH BY RAMPART SURVEYS FOR EITHER OWNERSHIP OR EASEMENTS OF RECORD. THE OWNERS DID NOT REQUEST RAMPART SURVEYS TO SHOW ANY EASEMENTS OF RECORD ON THIS PLAT.
 4. UNLESS SHOWN GREATER IN WIDTH, BOTH SIDES OF ALL SIDE LOT LINES ARE HEREBY PLATTED WITH A FIVE (5) FOOT WIDE EASEMENT FOR PUBLIC UTILITIES AND DRAINAGE AND BOTH SIDES OF ALL REAR LOT LINES ARE HEREBY PLATTED WITH A TEN (10) FOOT WIDE EASEMENT FOR PUBLIC UTILITIES AND DRAINAGE. ALL FRONT LOT LINES ON EACH SIDE OF ALL STREETS SHOWN HEREON ARE HEREBY PLATTED WITH A TEN (10) FOOT WIDE EASEMENT FOR PUBLIC UTILITIES. NO TREES WILL BE REMOVED UNLESS NECESSARY WITHOUT PRIOR NOTIFICATION OF THE PROPERTY OWNER AND THE ENTITY UTILIZING THE EASEMENT IS RESPONSIBLE FOR RECLAMATION.
 5. TRACT A SHALL BE DEDICATED TO THE CITY OF WOODLAND PARK WITH THE OWNERSHIP AND MAINTENANCE BY THE CITY OF WOODLAND PARK FOR THE USE OF PUBLIC PARK AND DRAINAGE FACILITIES.
 6. ALL DIMENSIONS FOUND HEREIN REFLECT ACTUAL DIMENSIONS BETWEEN MONUMENTS AND A RETRACEMENT OF ADJOINING BOUNDARIES BASED ON SAID MONUMENTS. THEREFORE, THOSE DIMENSIONS MAY VARY FROM PREVIOUSLY RECORDED PLATTED DIMENSIONS.
 7. CONSTRUCTION ON LOTS SHALL NOT REDIRECT DRAINAGE AWAY FROM EXISTING DRAINAGE SYSTEMS. DRAINAGE SHALL BE ALLOWED TO FLOW THROUGH EXISTING DITCHES OR REDIRECTED AS REQUIRED BY ANY LOT CONSTRUCTION.
 8. TRACT B, A PORTION OF SOUNDUGH ROAD, SHALL BE DEDICATED TO THE CITY OF WOODLAND PARK FOR PUBLIC USE.

SUBDIVIDER/OWNER
R. P. PARTNERS, L.L.P.
P.O. BOX 5044
WOODLAND PARK, CO 80866
(719) 687-4707

DESIGNER
J. R. ENGINEERING, LTD.
6020 GREENWOOD PLAZA BLVD.
ENGLEWOOD, CO 80111
(303) 740-9393

PROFESSIONAL LAND SURVEYOR
KEVIN F. LLOYD
RAMPART SURVEYS, INC.
P.O. BOX 5101
WOODLAND PARK, CO 80866
(719) 687-0920

