

Cumberland Foreside Village

— A NEW SUBDIVISION —

Prices starting at \$310,000

Plan



The Jasper

\$385,000



The Holly

\$310,000



The David

\$350,000



The Ari

\$325,000



The Sherwood

\$375,000



The Maxwell

\$365,000



The Cottage

\$415,000



The Will

\$375,000



The Casco Bay

\$400,000



The Jackman

\$400,000



The Ruby

\$425,000



Features

- ✦ Public Water/Sewer
- ✦ Ideal East of 295 Convenient location
- ✦ Top Rated School System
- ✦ Without a doubt the most new home for your money in Cumberland
- ✦ Granite Countertops + Stainless Steel Appliances
- ✦ Hardwood Flooring
- ✦ Natural Gas
- ✦ Perfectly designed open floor plans
- ✦ Irrigation system

Completion Dates

All available
April 2017

Contact Jarrod Mallon

207.632.5516

jarrodmallon@tmren.biz

www.Jarrodmallon.com

No construction loan
needed. *These will go as
fast as we can build them.*

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INTERSTATE 240



GRAPHIC SCALE



1/4 MILE
1/2 MILE

GARAGES

Lots 23-27	Garage on the right
Lots 28-38	Garage on either side
Lots 39-45	Garage on left
Lots 23-27	Half daylight
Lots 28-31	No daylight

DAYLIGHT BASEMENTS

Lot 32	Half Daylight
Lots 33-41	Walkout Mandatory
Lots 42&43	Half Daylight
Lots 44-45	No daylight

HOUSE DESIGNS

Lots 33-37

Add on Price \$15,000

The Ari, The David, The Holly
The Ruby, The Jackman & The
Will ONLY

Building Envelope 57x40

Lots 38-45

Add on price \$15,000

All house designs

Building Envelope 57x70

Lots 31 & 23

The Modified Ari & The Modified
Holly ONLY

Building Envelope 51x50

Lots 24-30

The Modified Ari,
The Holly, The David The
Modified Will,
The Jasper, The Cottage, The
Sherwood and The Maxwell

Note only 6" overhangs on the Holly

Building Envelope 52x50

PRICE LIST

Note: Houses \$325K and under include Appliance Package 1

The Holly 1,422 Square Feet	\$300,000
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The Ari 1,644 Square Feet Modified 1652 Square Feet	\$315,000
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The David 1,848 Square Feet	\$325,000
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The Will 2,122 Square Feet 24x24 Garage Modified 1,848 Square Feet	\$350,000
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The Jackman 2,376 Square Feet	\$375,000
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The Ruby 2,450 Square Feet	\$400,000
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The Jasper 2,220 Square Feet	\$385,000
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The Cottage 2,280 Square Feet	\$400,000
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The Maxwell 1,437 Square Feet	\$350,000
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The Sherwood 1,538 Square Feet	\$365,000
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The Will - Front



The Will – Rear



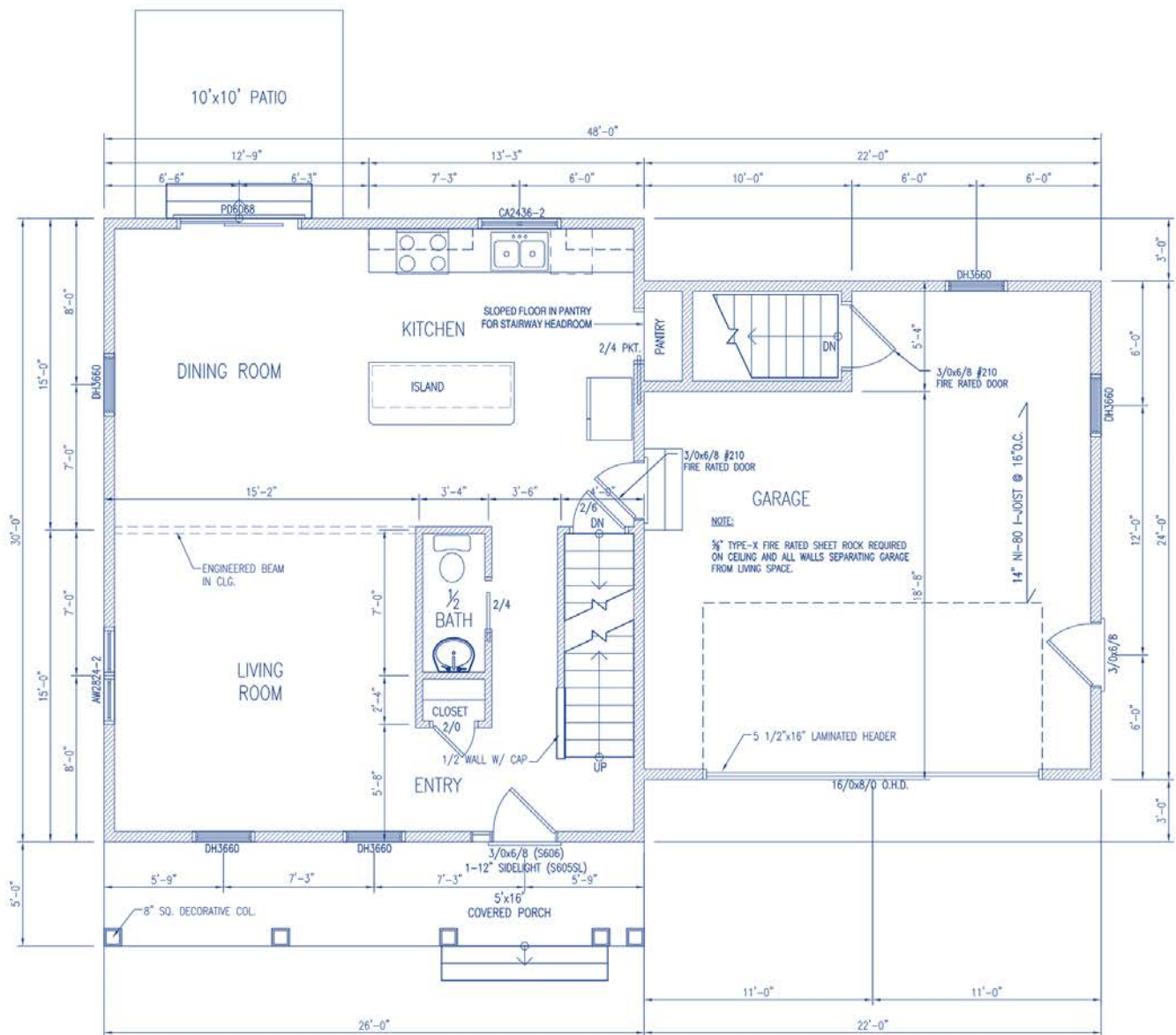
The Will – Left



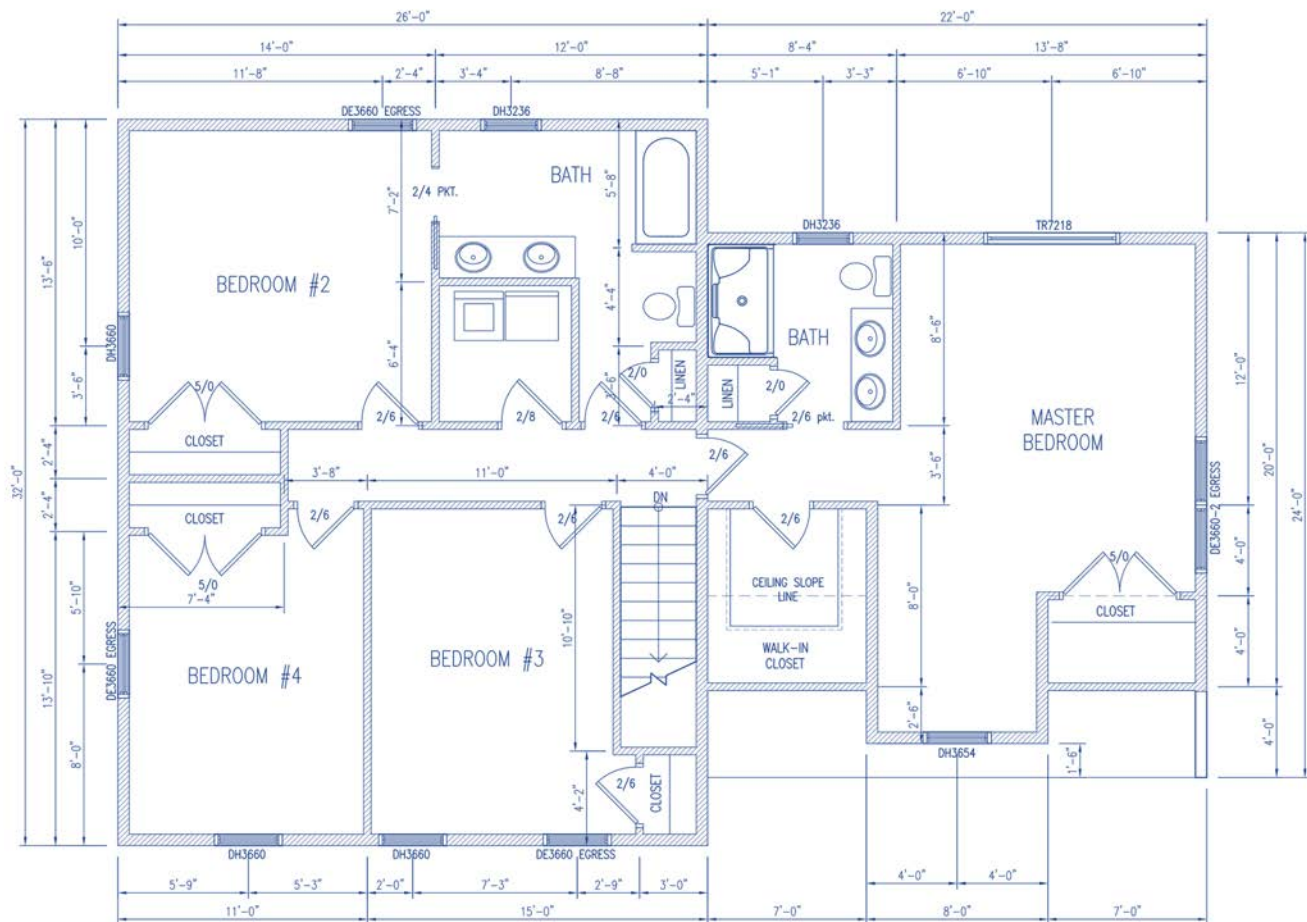
The Will – Right



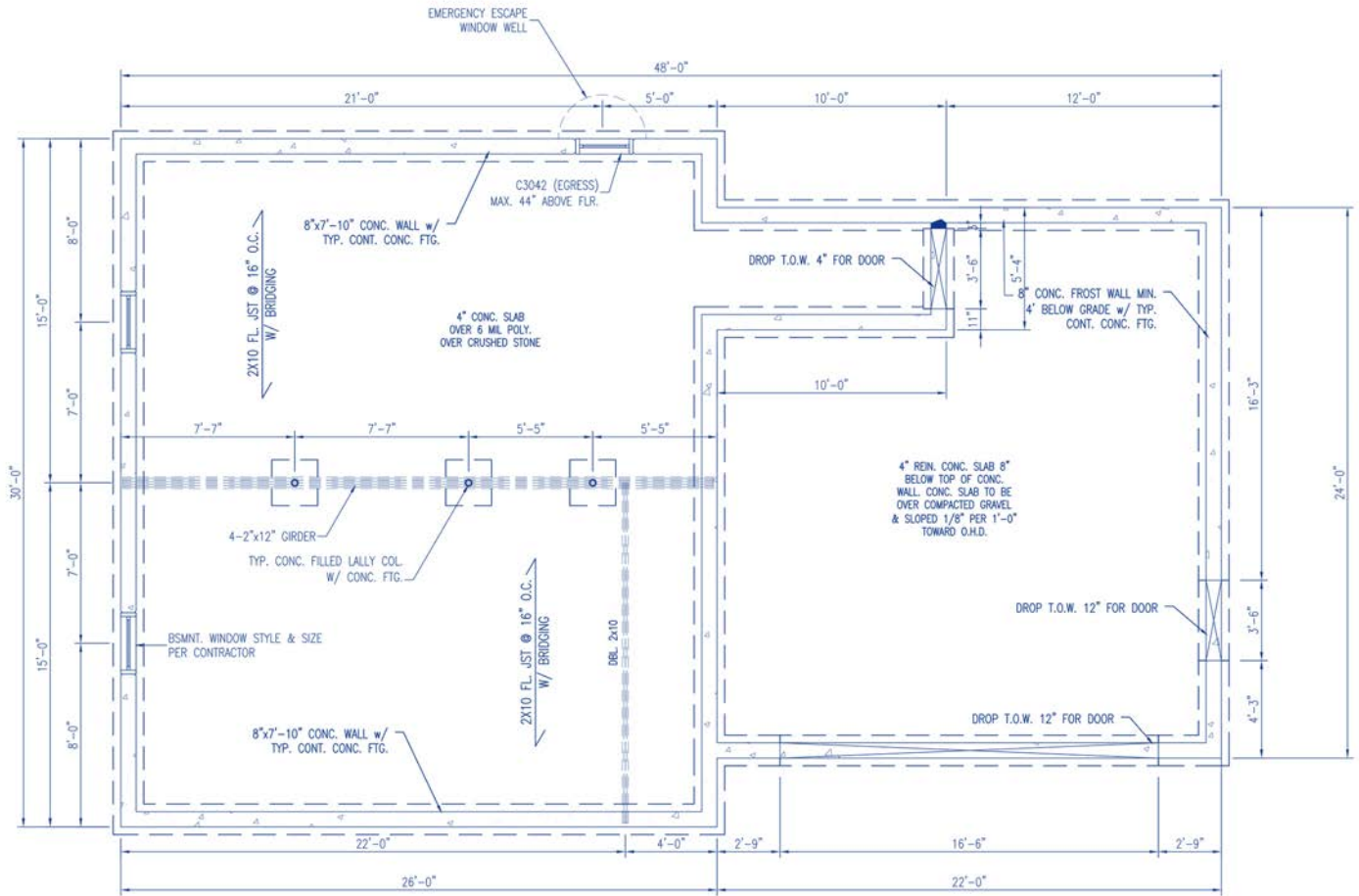
The Will – First Floor Plan



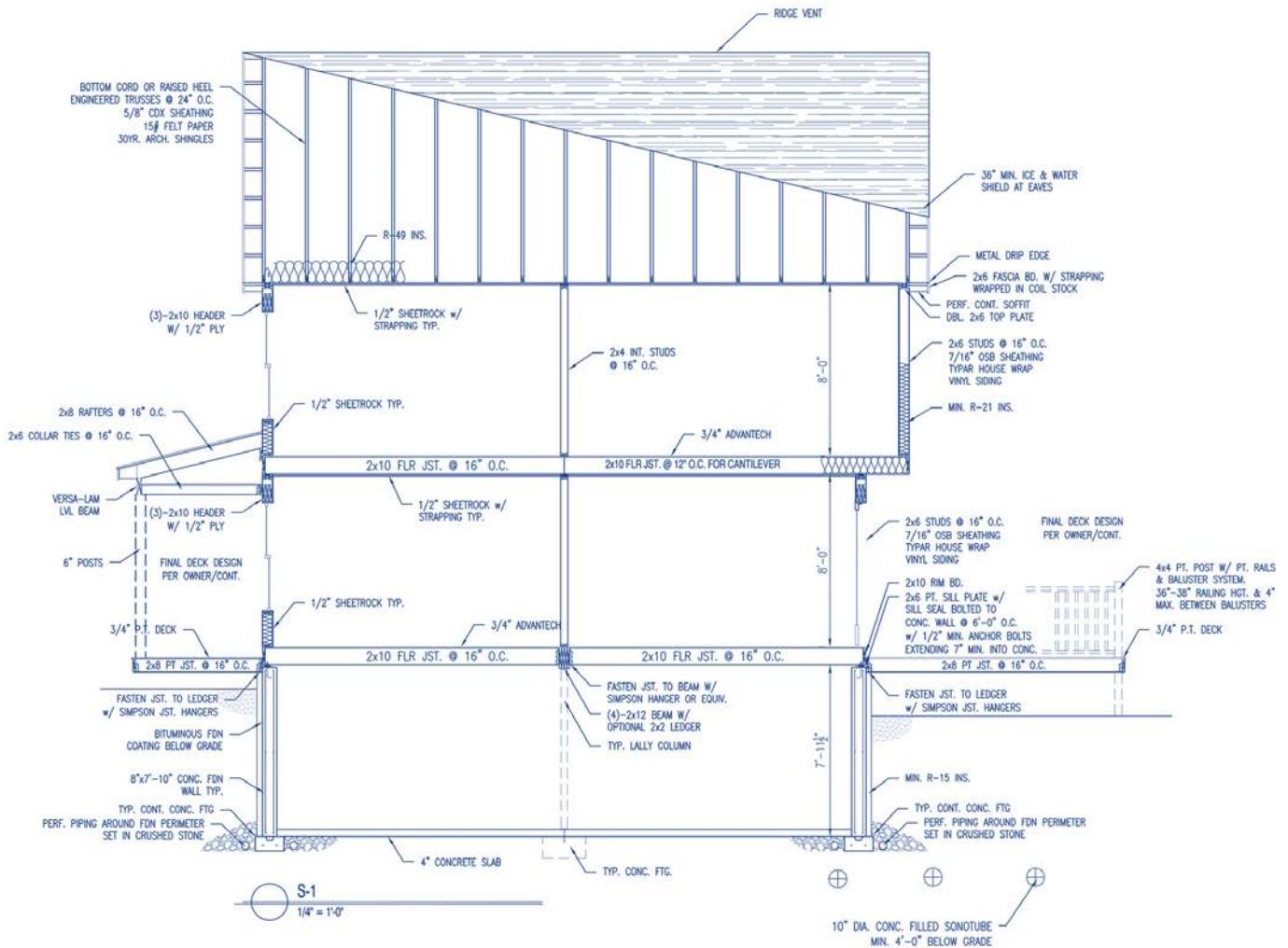
The Will – Second Floor Plan



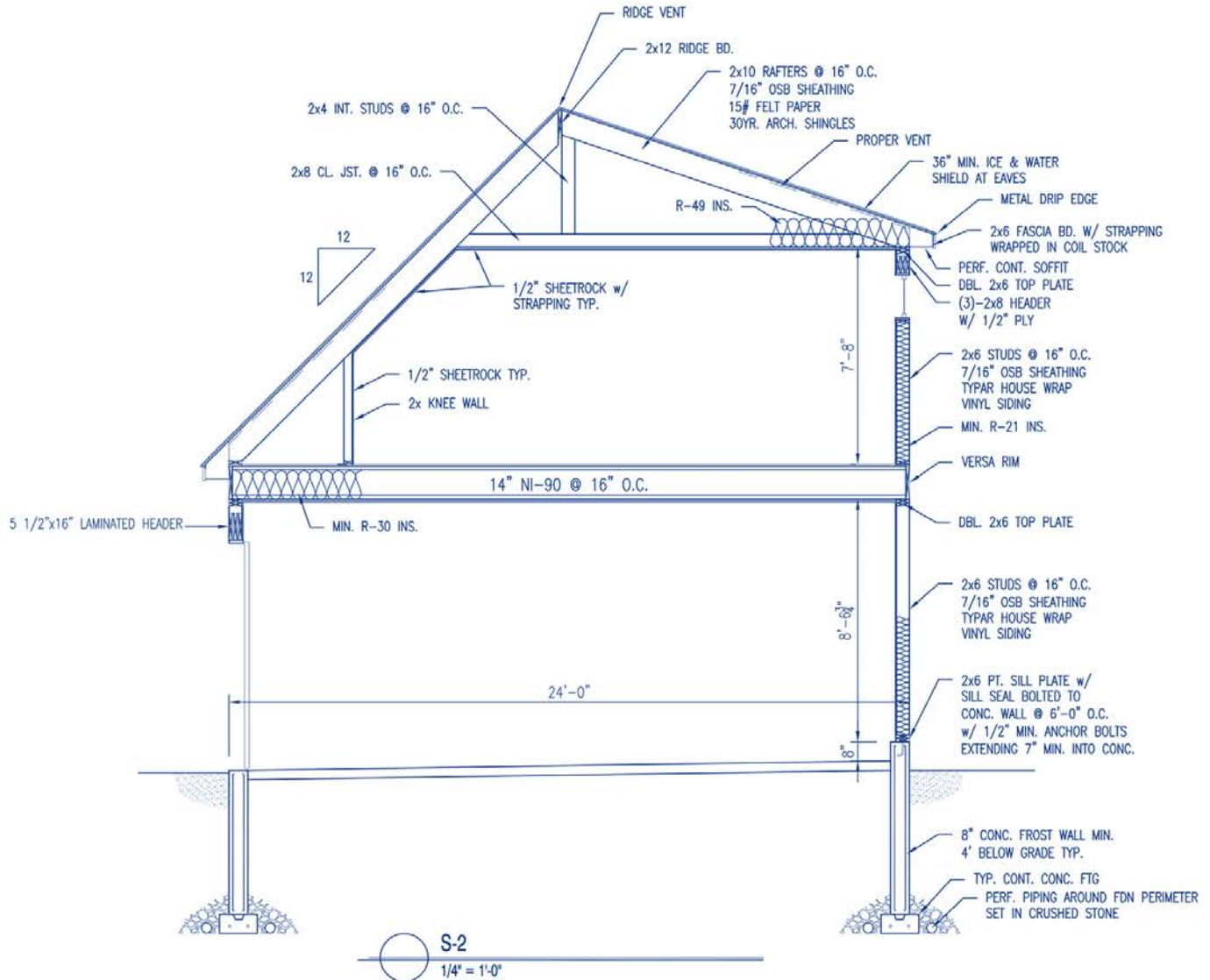
The Will – Foundation Plan



The Will – Cross-section 1



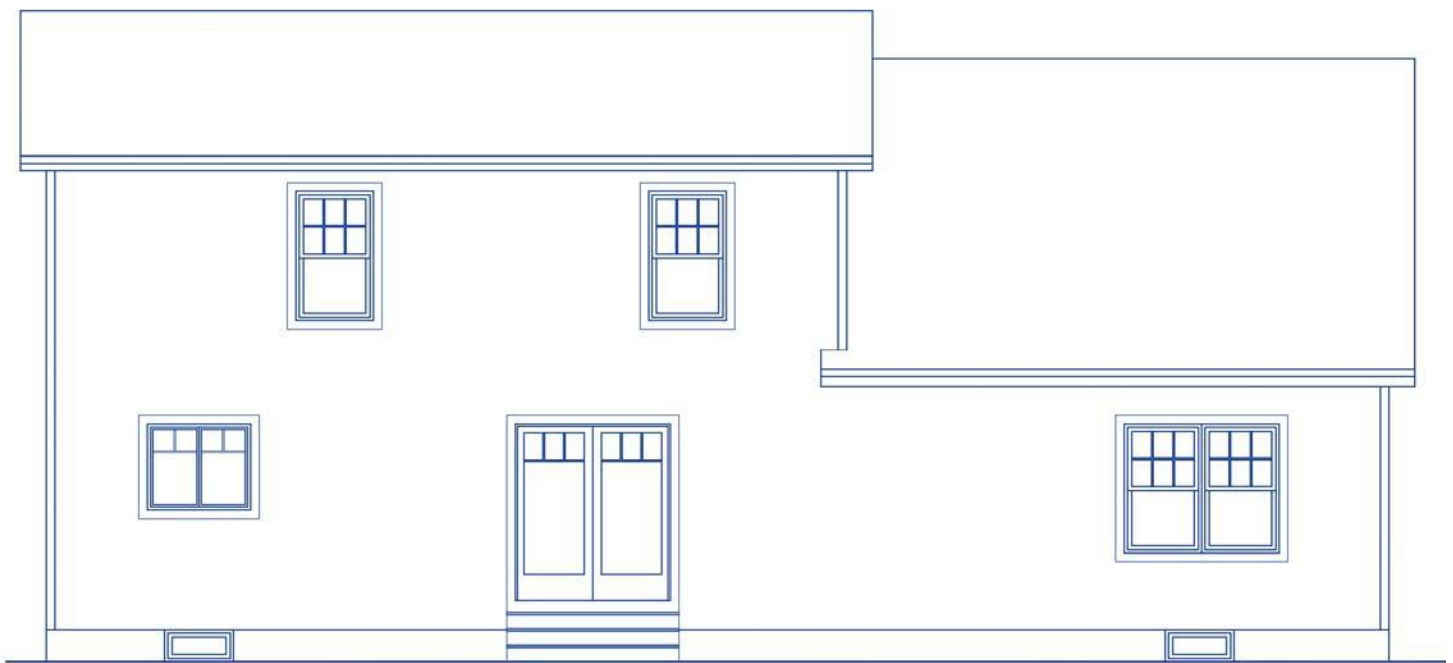
The Will – Cross-section 2



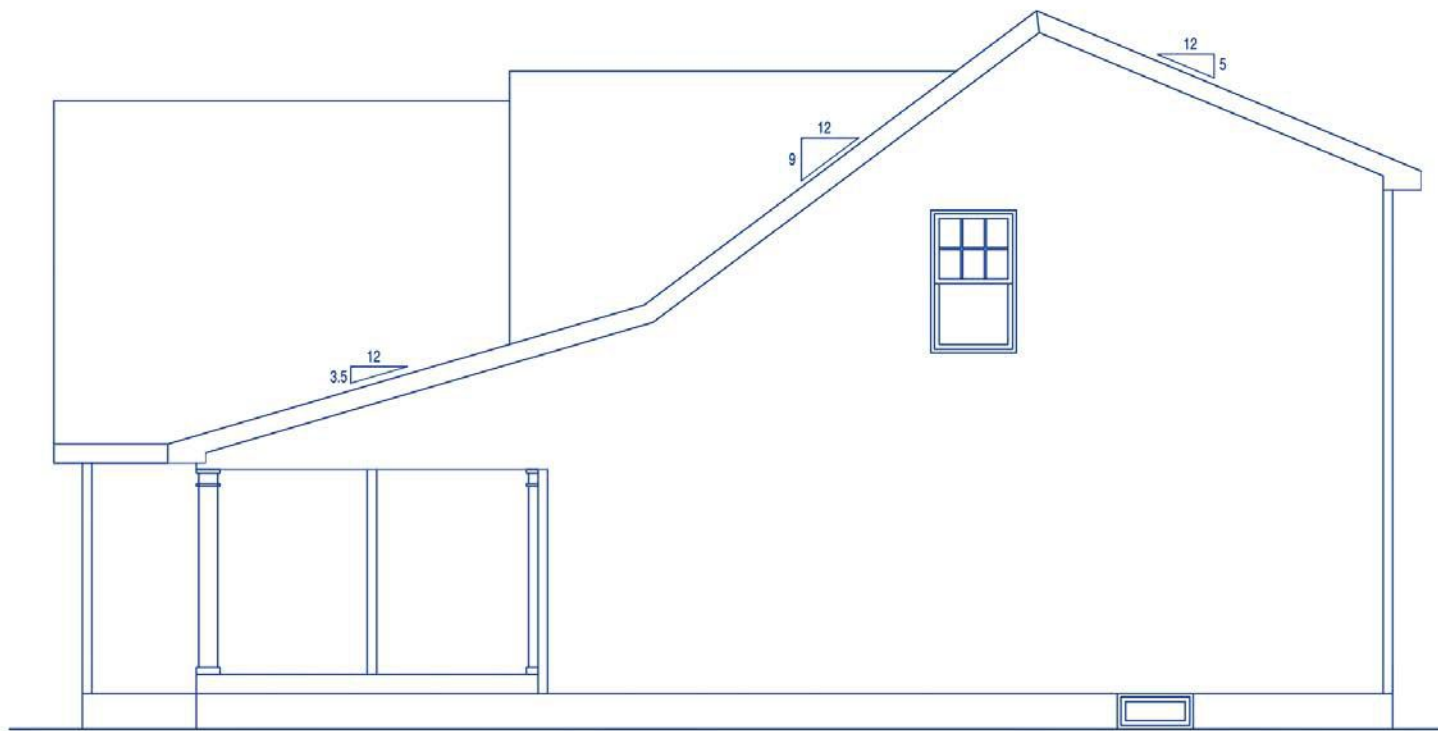
The Cottage - Front



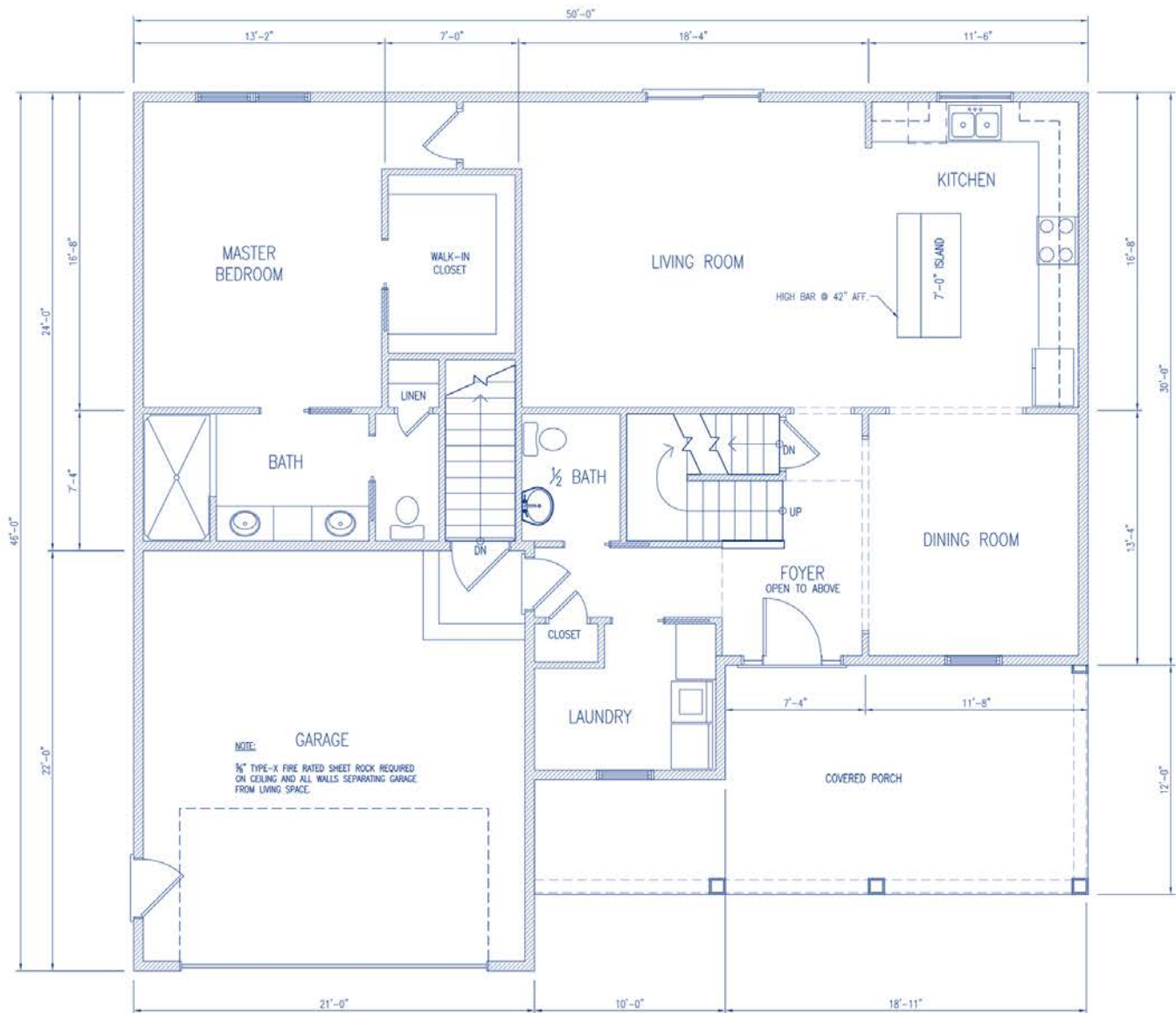
The Cottage – Rear



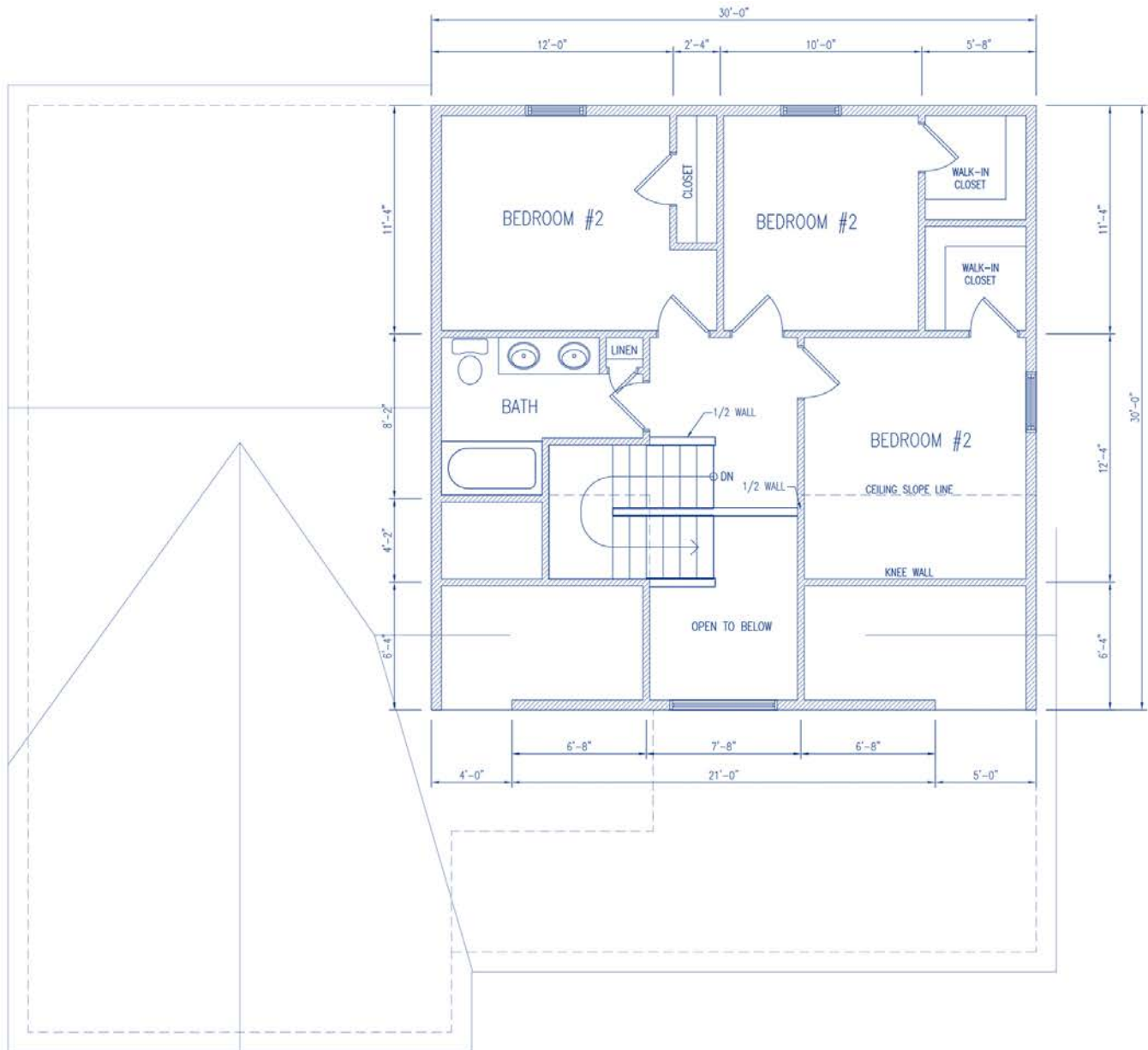
The Cottage – Right



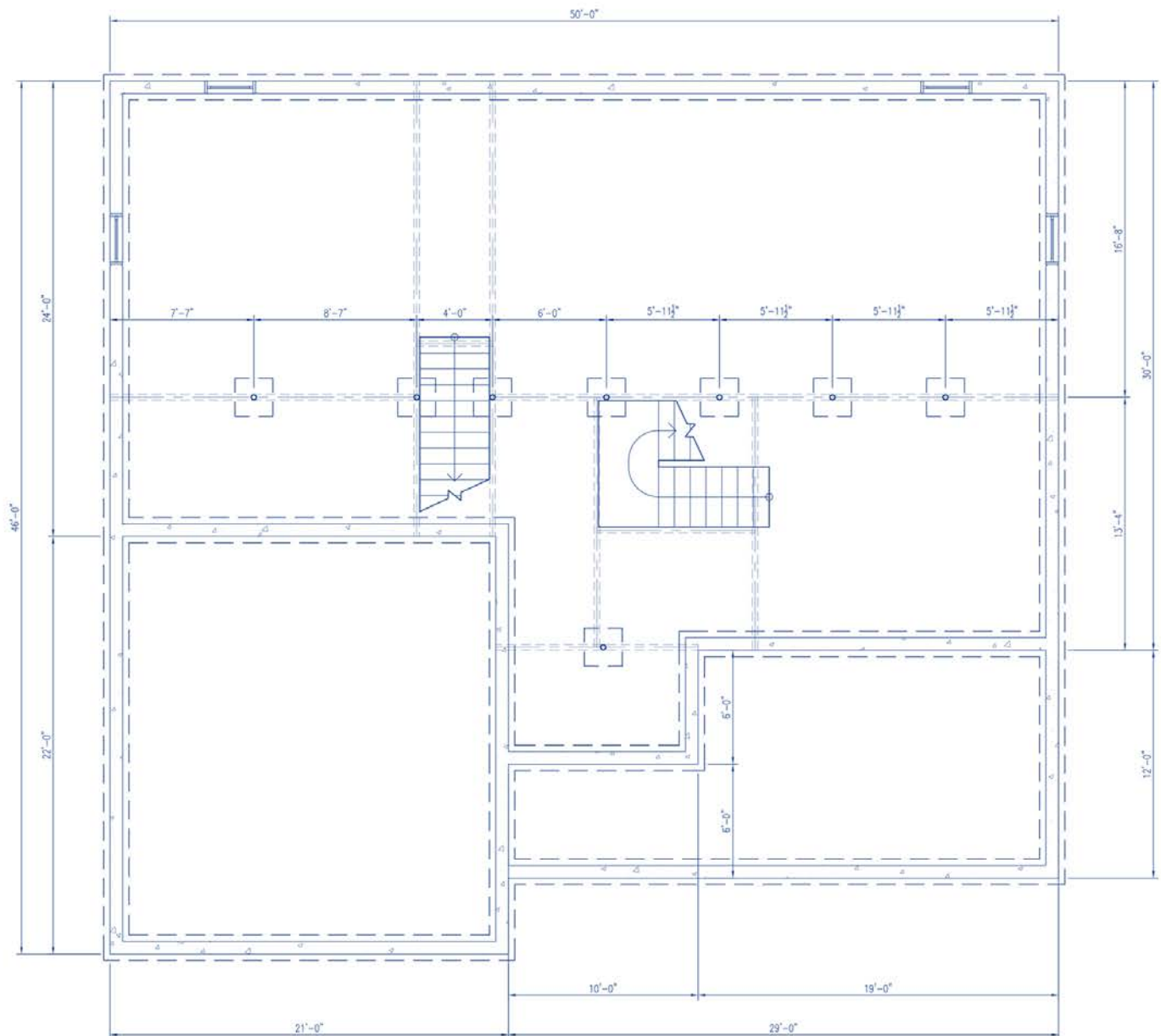
The Cottage - First Floor Plan



The Cottage - Second Floor Plan



The Cottage - Foundation Plan



The Maxwell - Front



The Maxwell – Rear



The Maxwell – Left

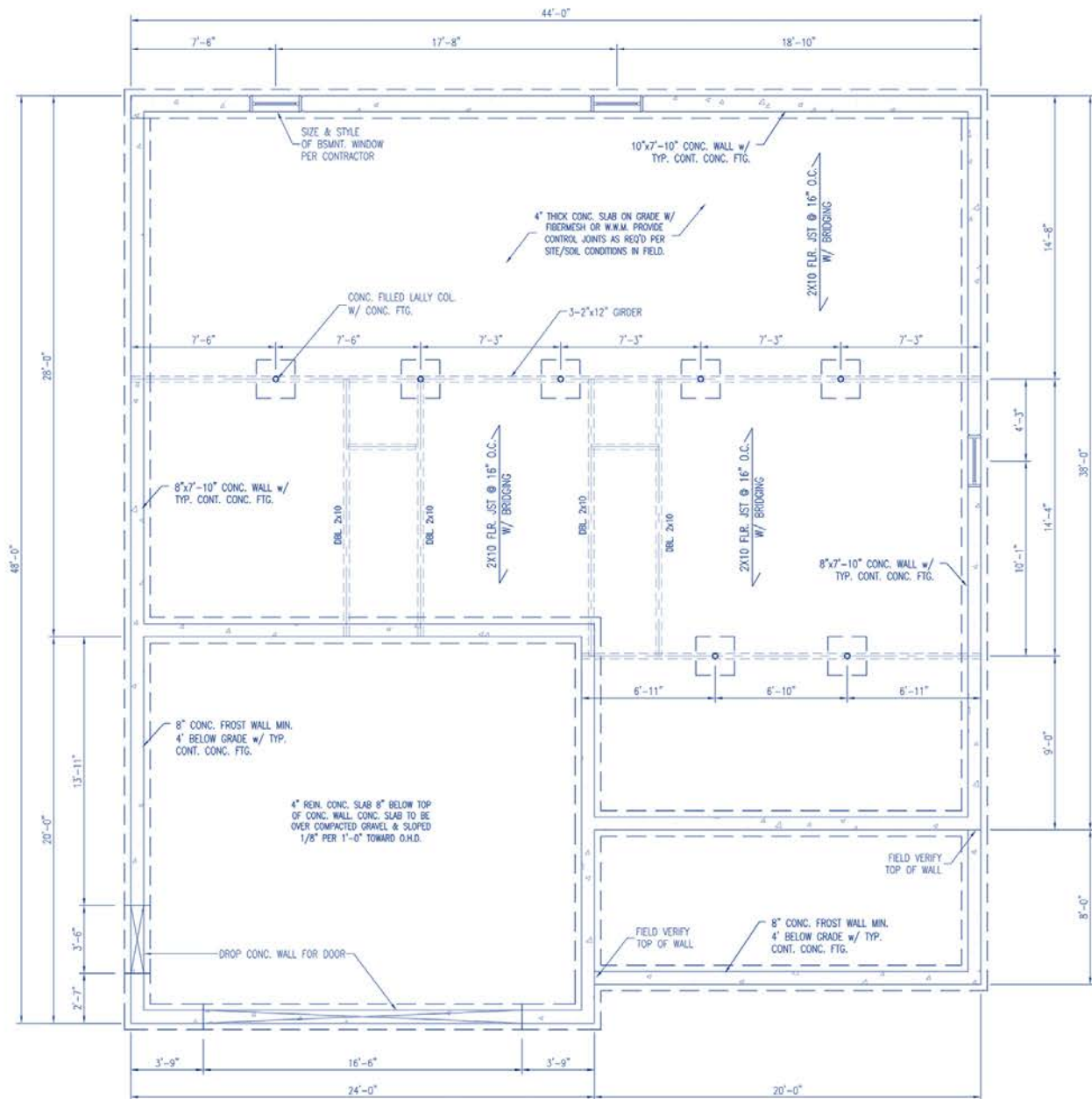


The Maxwell – Right

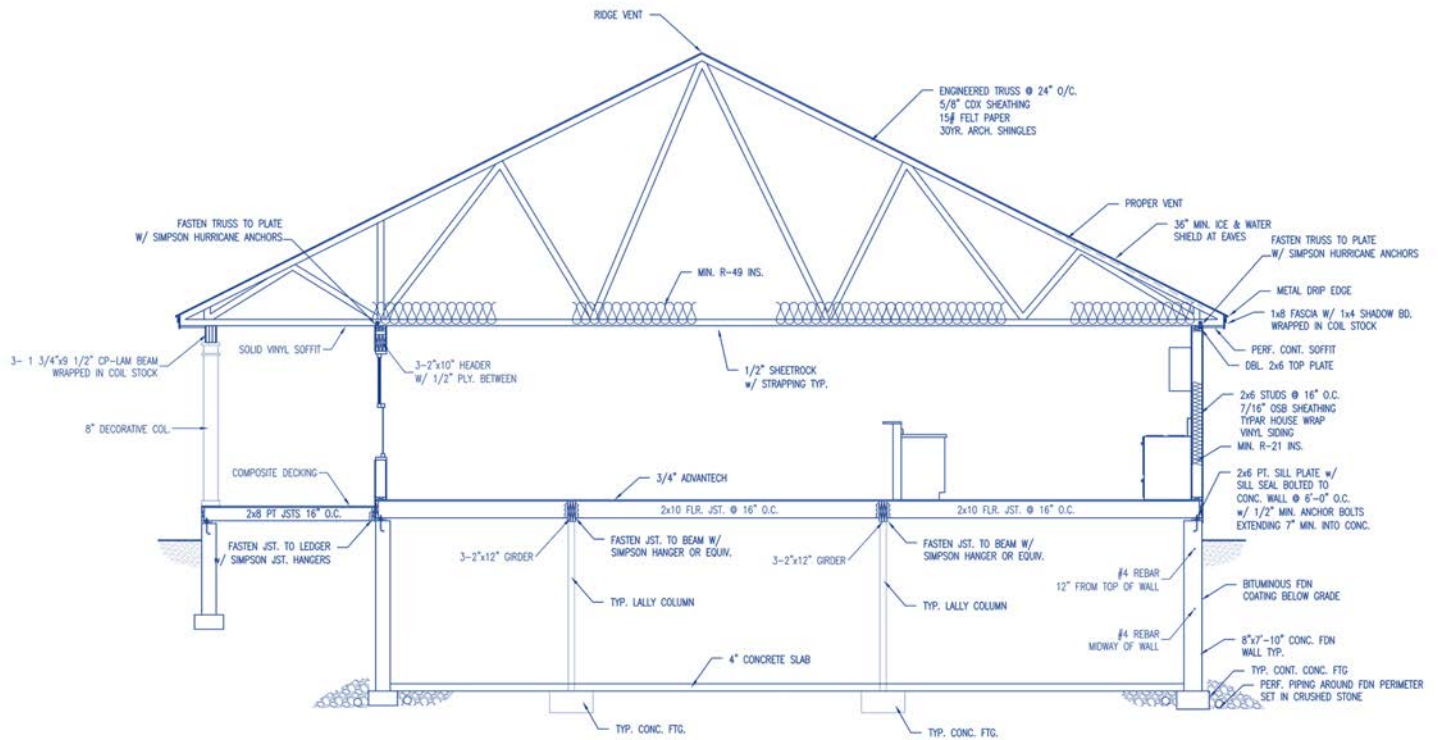


[illegible]

The Maxwell - Foundation Plan



The Maxwell - Cross-section



The David - Front



The David – Rear



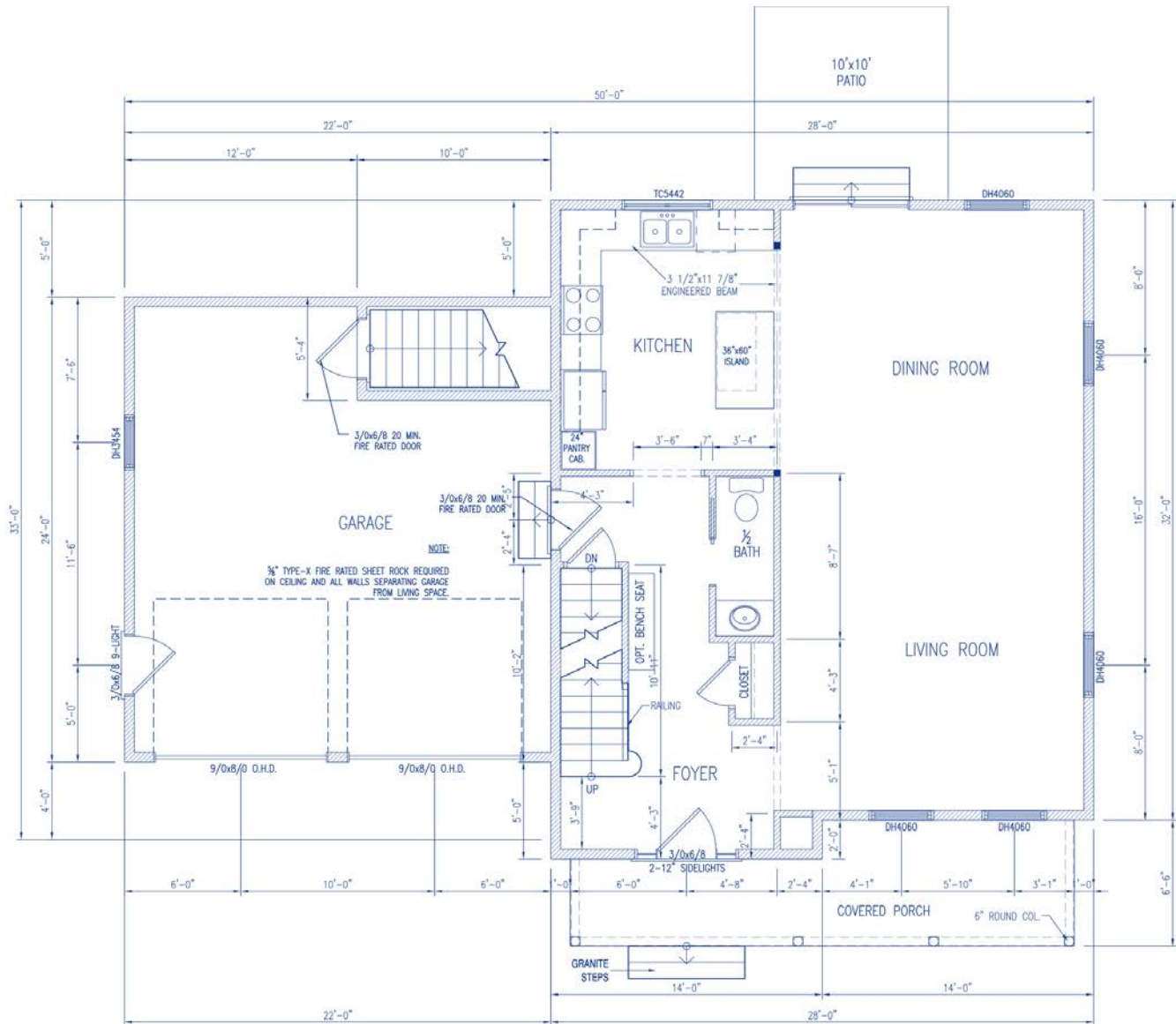
The David – Left



The David – Right



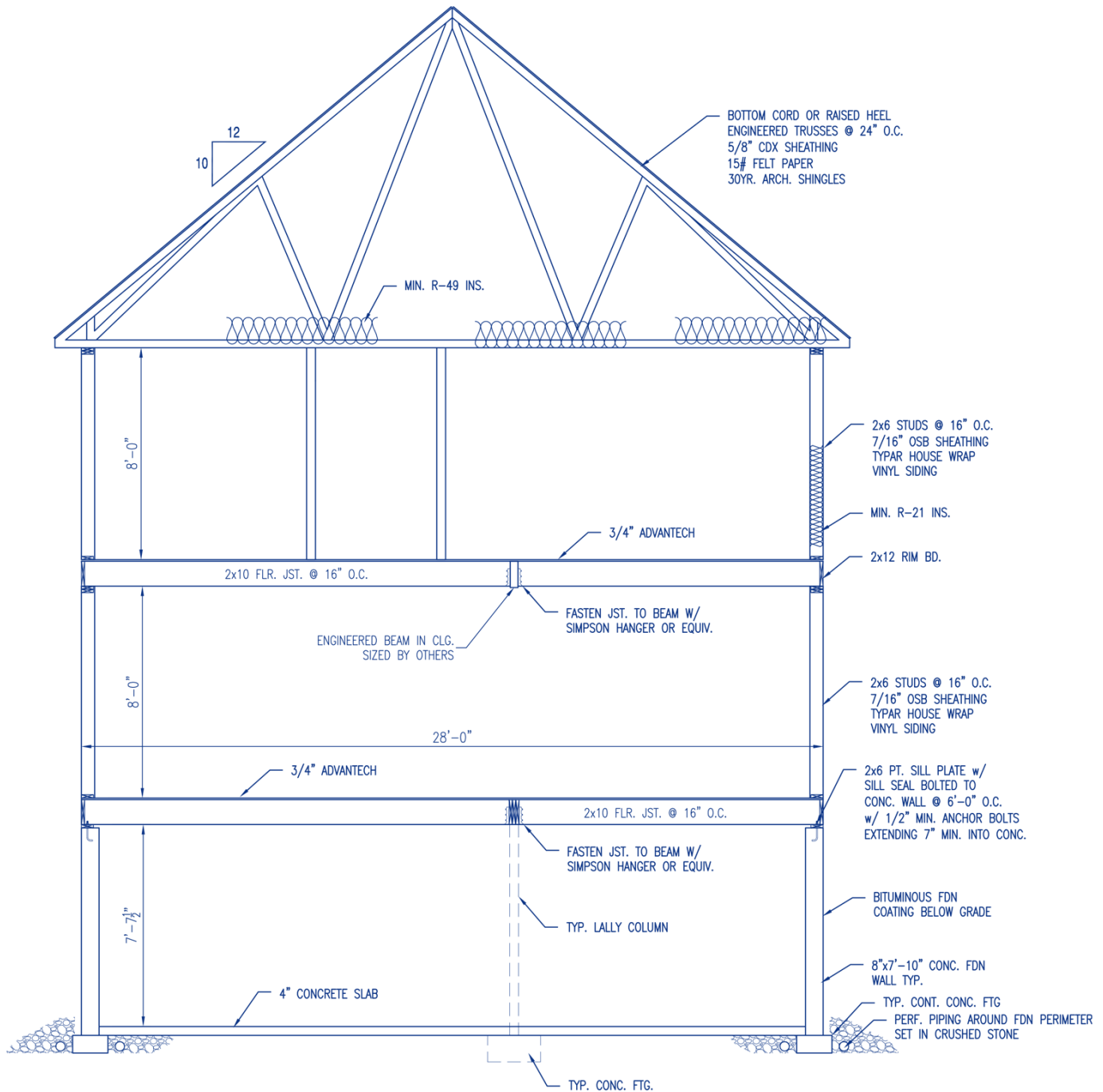
The David – First Floor Plan



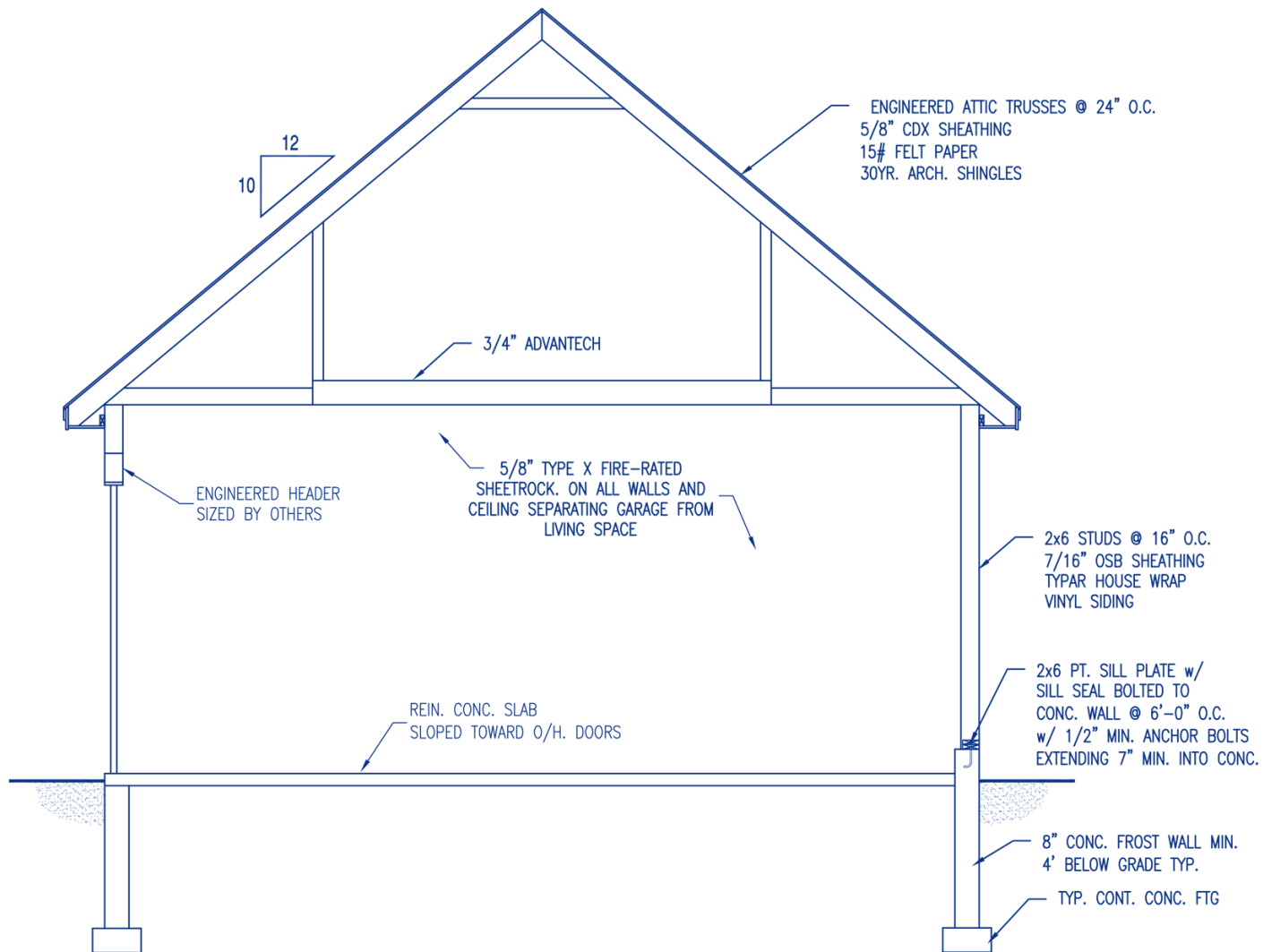
This detailed floor plan illustrates the second floor of a building, featuring a central hallway and several rooms. The layout includes:

- Master Bedroom:** Located at the top right, measuring 14'-5" by 11'-6". It includes a walk-in closet, a linen closet (LIN.), and a bathroom.
- Bedroom #2:** Located at the bottom right, measuring 11'-9" by 11'-2". It includes a closet and a bathroom.
- Bedroom #1:** Located at the bottom left, measuring 11'-9" by 11'-2". It includes a closet and a bathroom.
- Opt. Bonus Room:** A large room on the left side, measuring 22'-0" by 24'-0", with a total area of 250 SQ. FT.
- Hallway:** A central hallway measuring 14'-0" by 11'-6" provides access to all rooms.
- Stairs:** A set of stairs labeled "DN" (down) is located in the central hallway.
- Roof Scope:** A roof scope area is indicated at the bottom right, measuring 5'-10" by 4'-1".
- Dimensions:** The overall dimensions of the building are 22'-0" by 24'-0". The total area of the second floor is 1,440 SQ. FT.
- Architectural Details:** The plan includes various architectural details such as doors, windows, and closets. Dimensions are provided for each room and hallway, and the overall building dimensions are shown at the top and bottom.

The David – Cross-section 1



The David – Cross-section 2



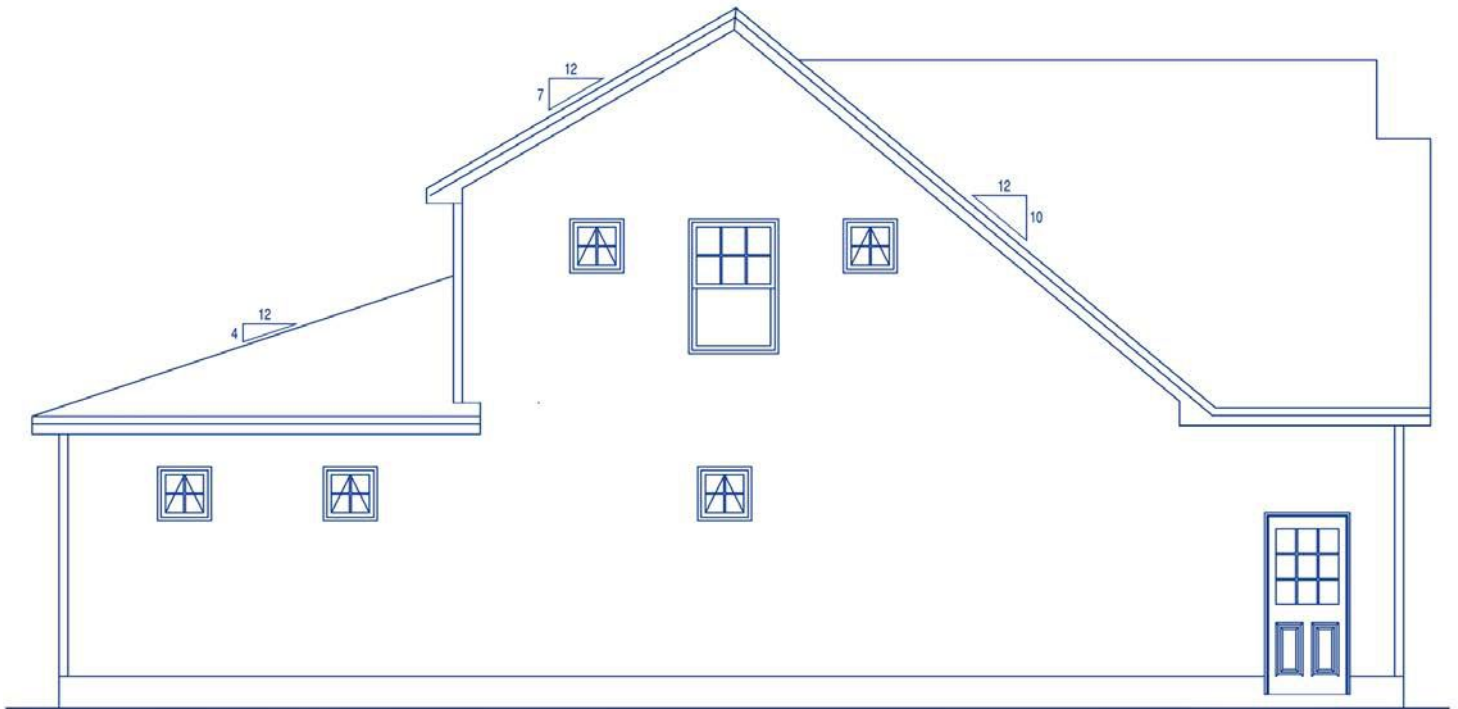
The Jasper - Front



The Jasper – Rear



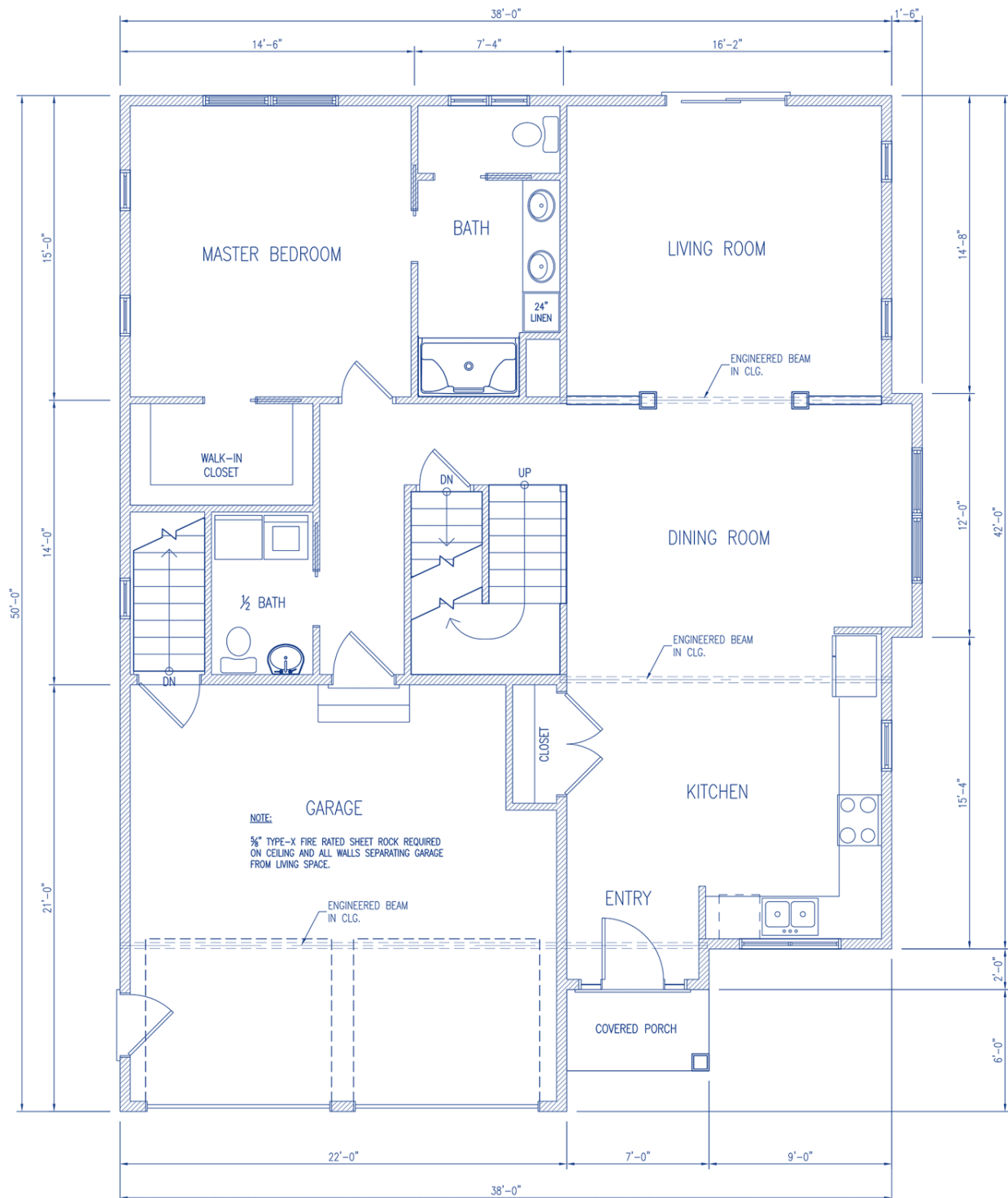
The Jasper – Left



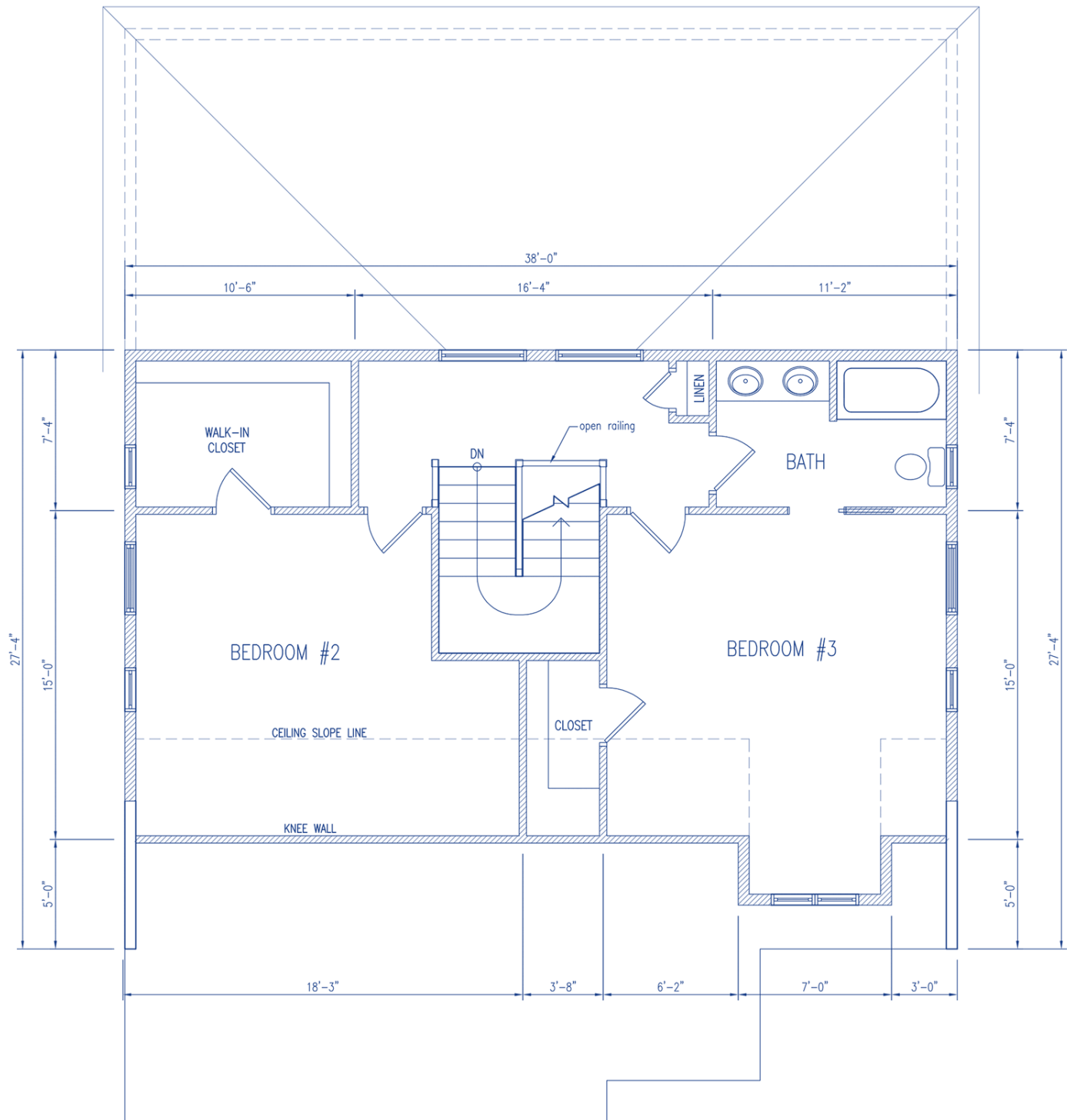
The Jasper – Right



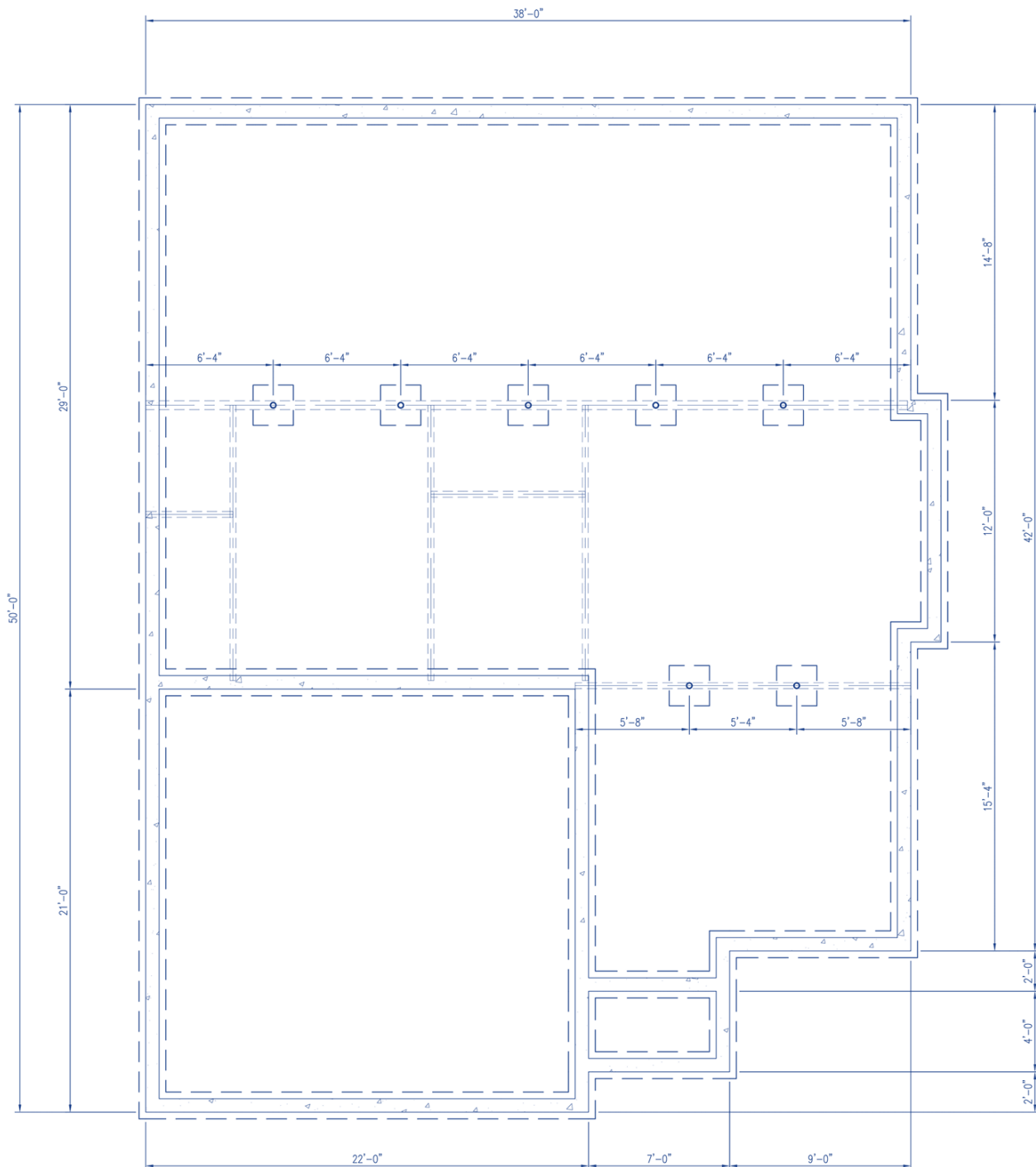
The Jasper - First Floor Plan



The Jasper - Second Floor Plan



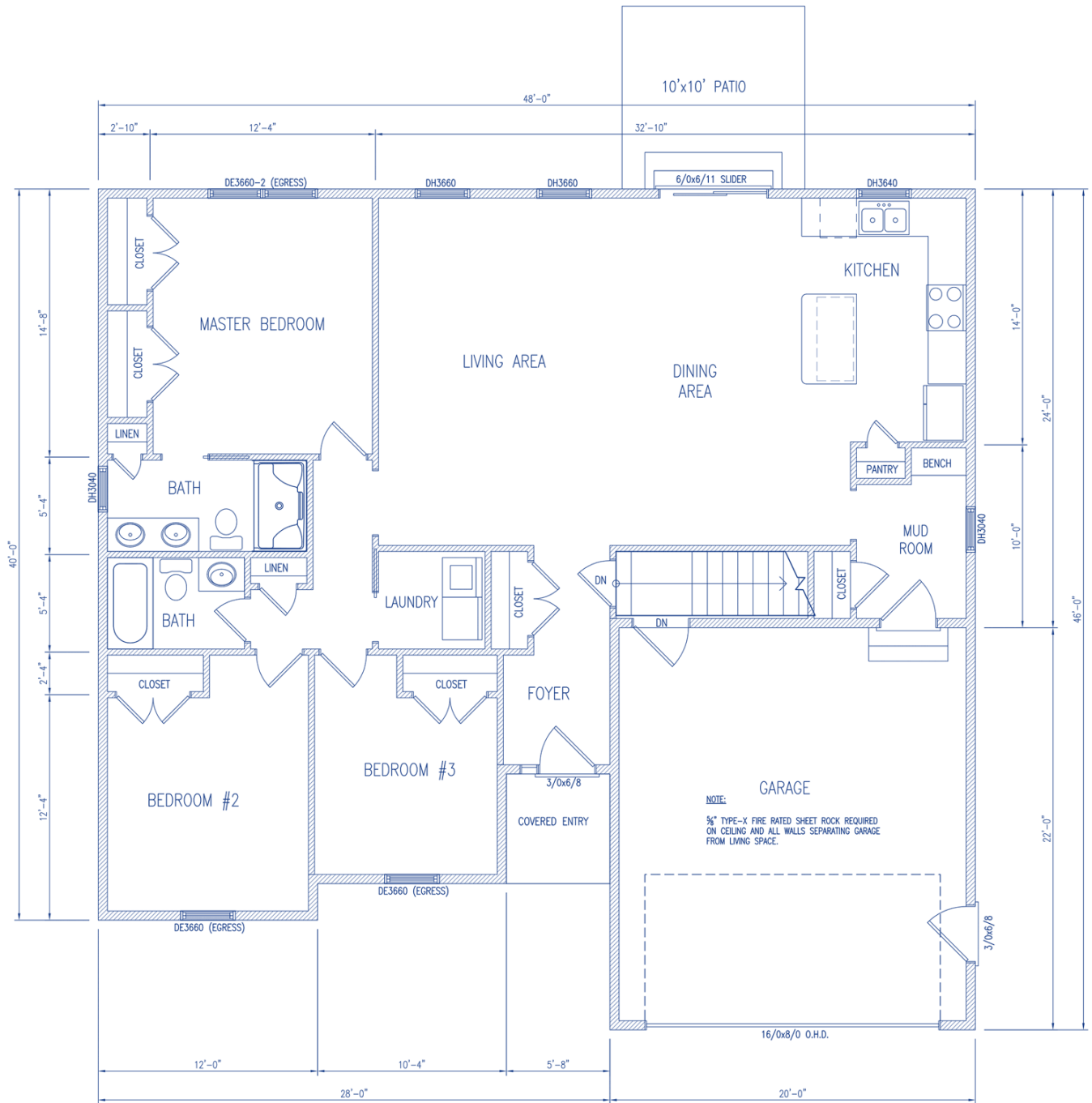
The Jasper - Foundation Plan



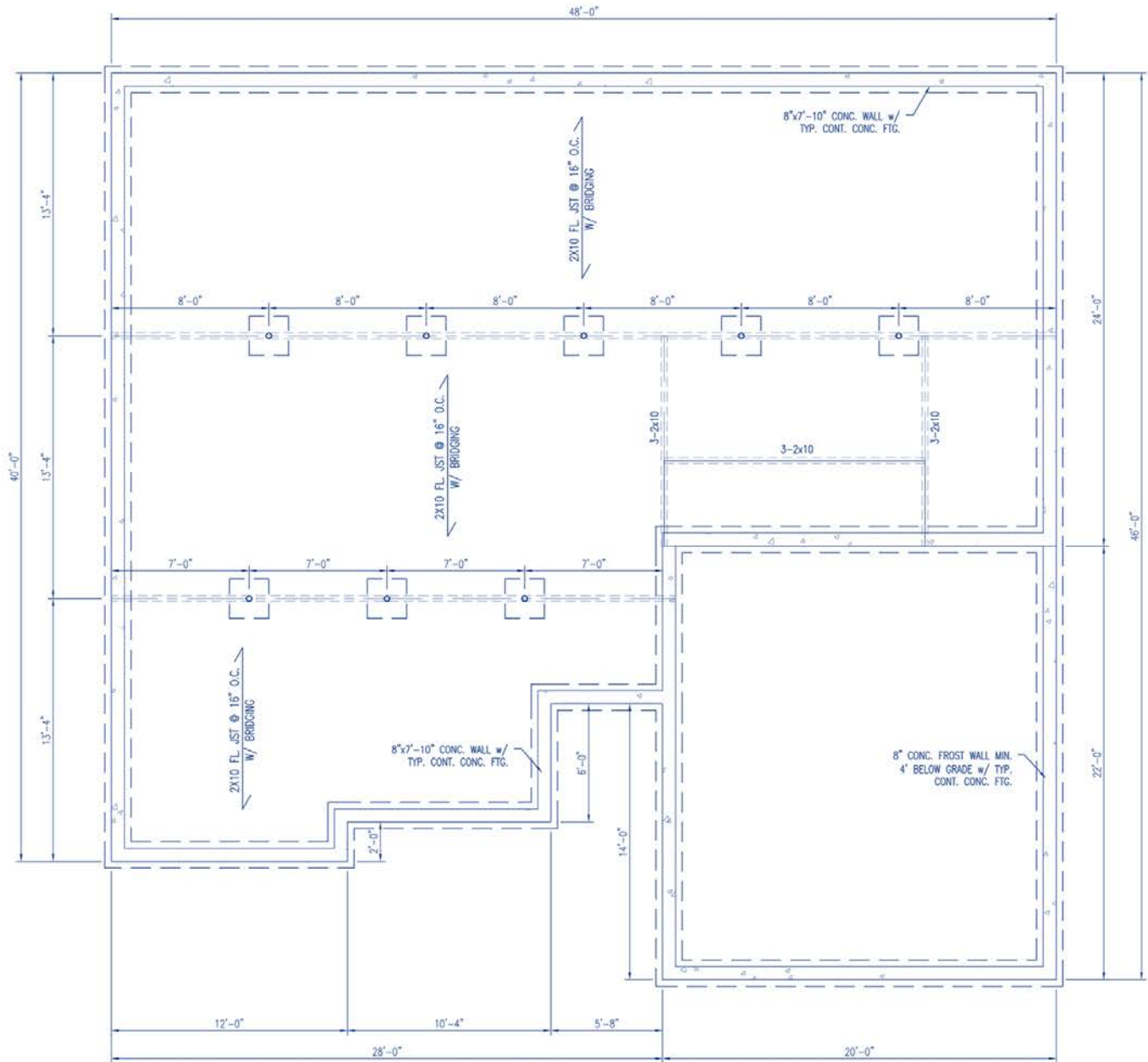
The Sherwood - Front



The Sherwood - First Floor Plan



The Sherwood - Foundation Plan



The Casco Bay - Front



The Casco Bay – Rear



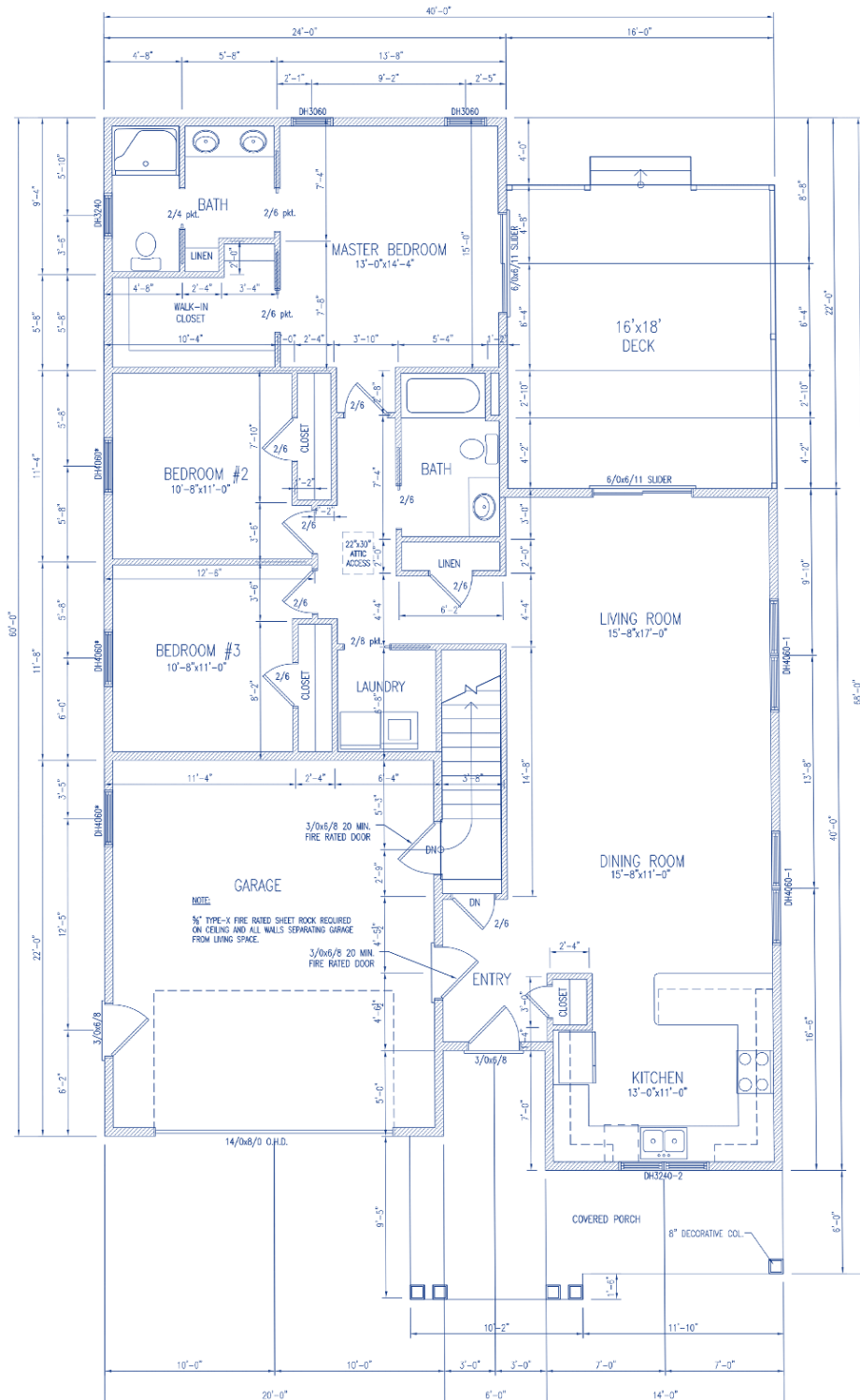
The Casco Bay – Left



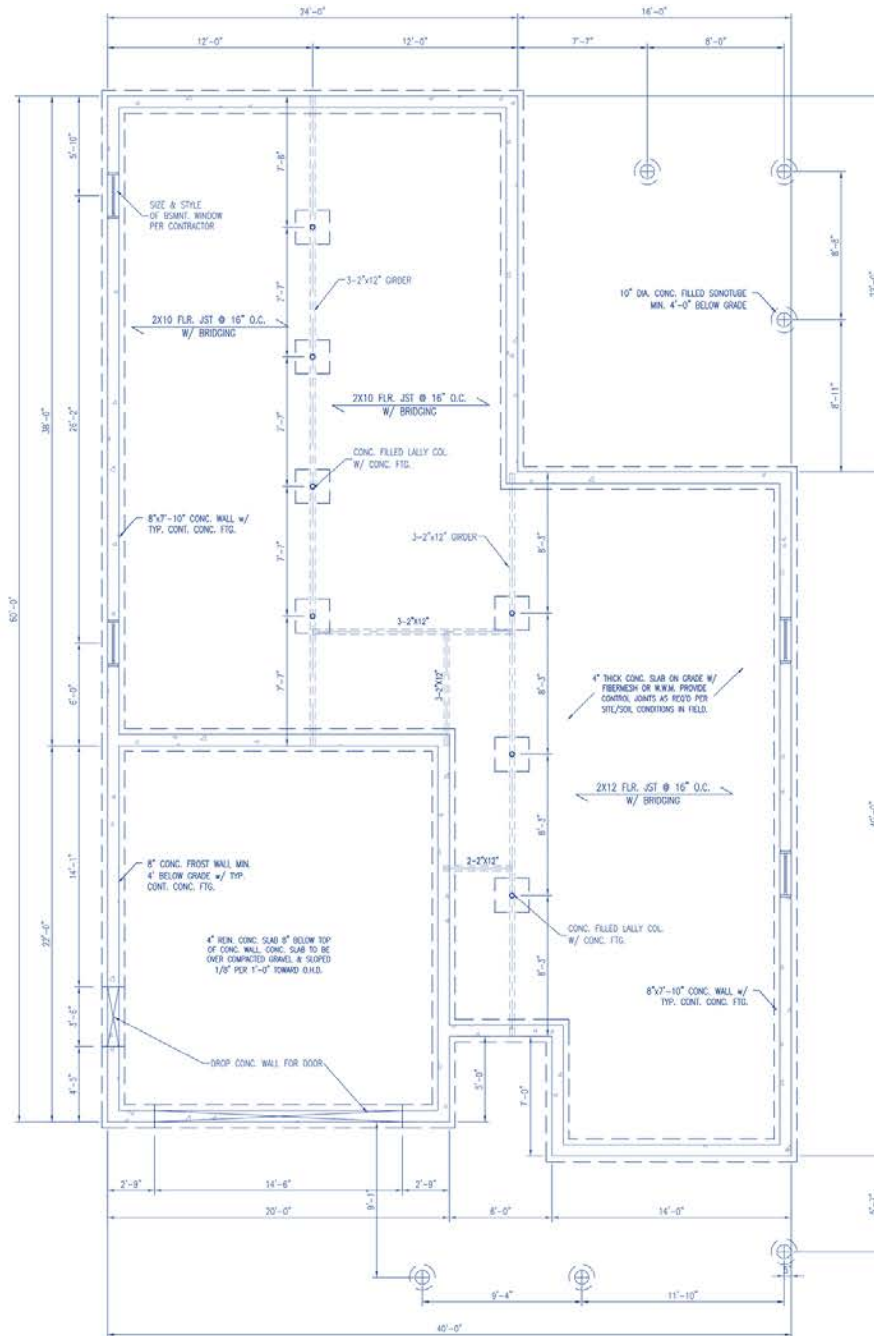
The Casco Bay – Right



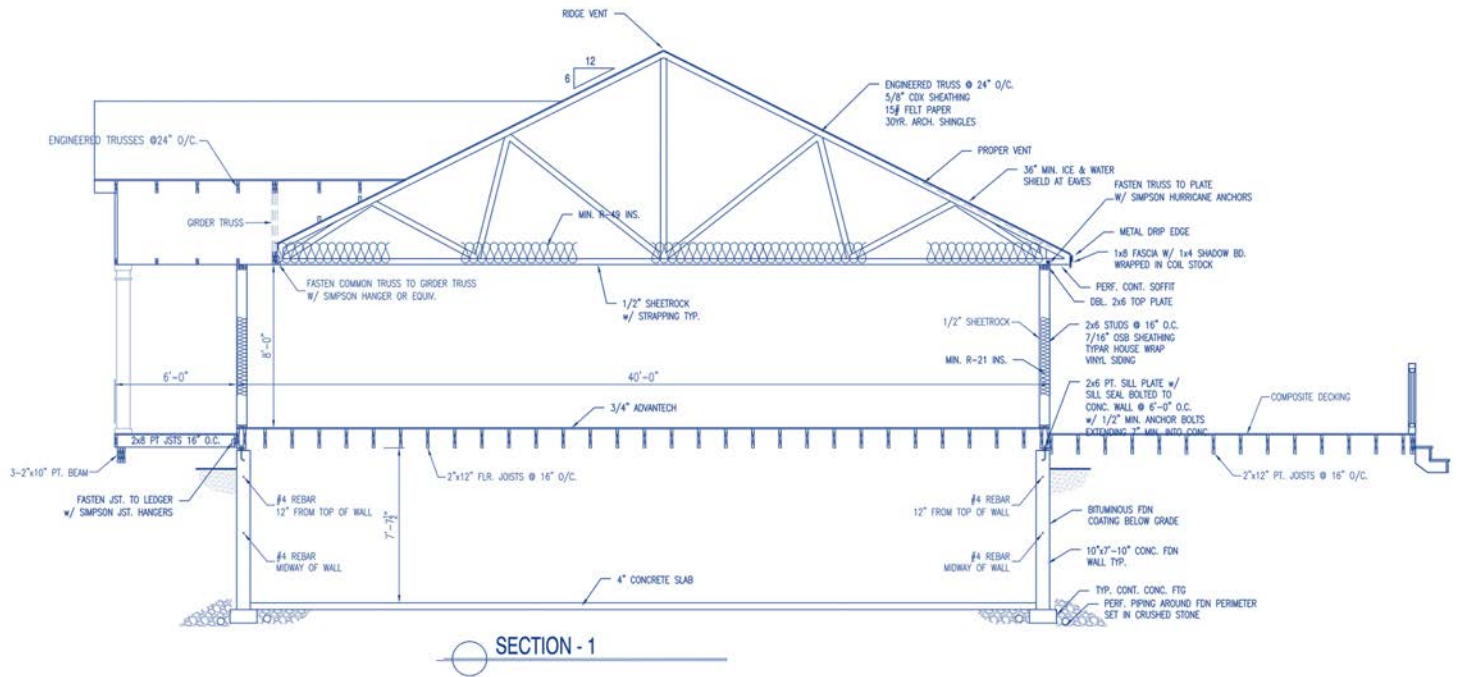
The Casco Bay - First Floor Plan



The Casco Bay - Foundation Plan



The Casco Bay - Cross-section 1



The Jackman - Front



The Jackman – Rear



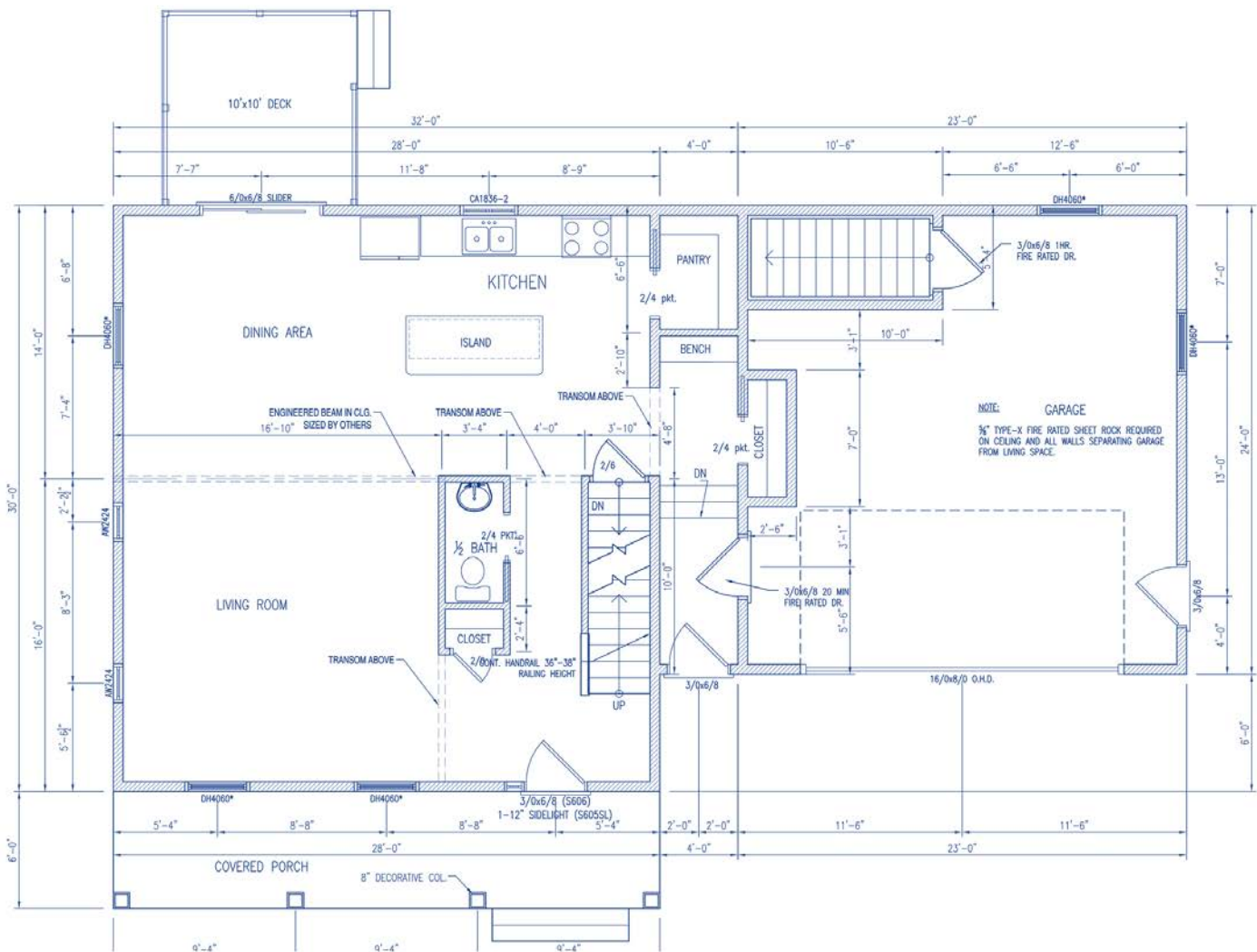
The Jackman – Left



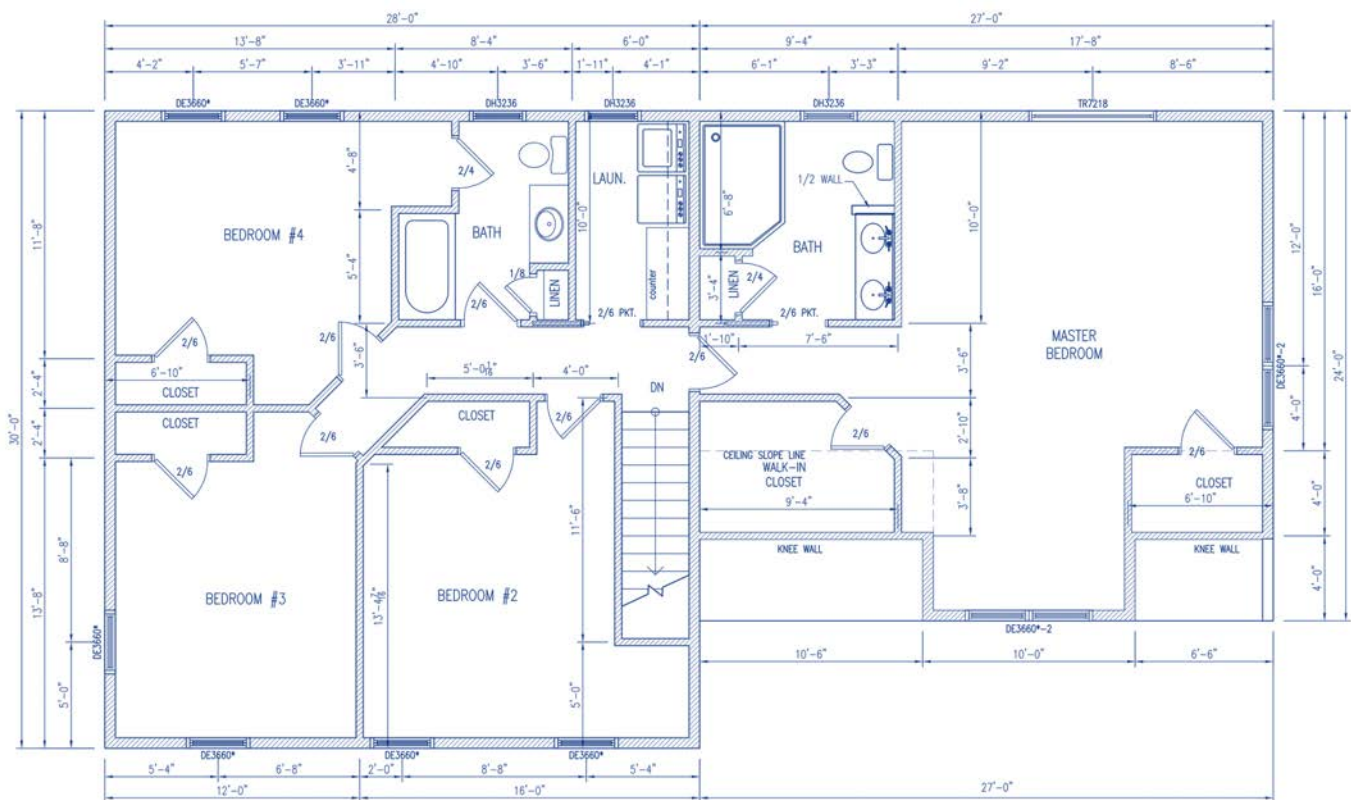
The Jackman – Right



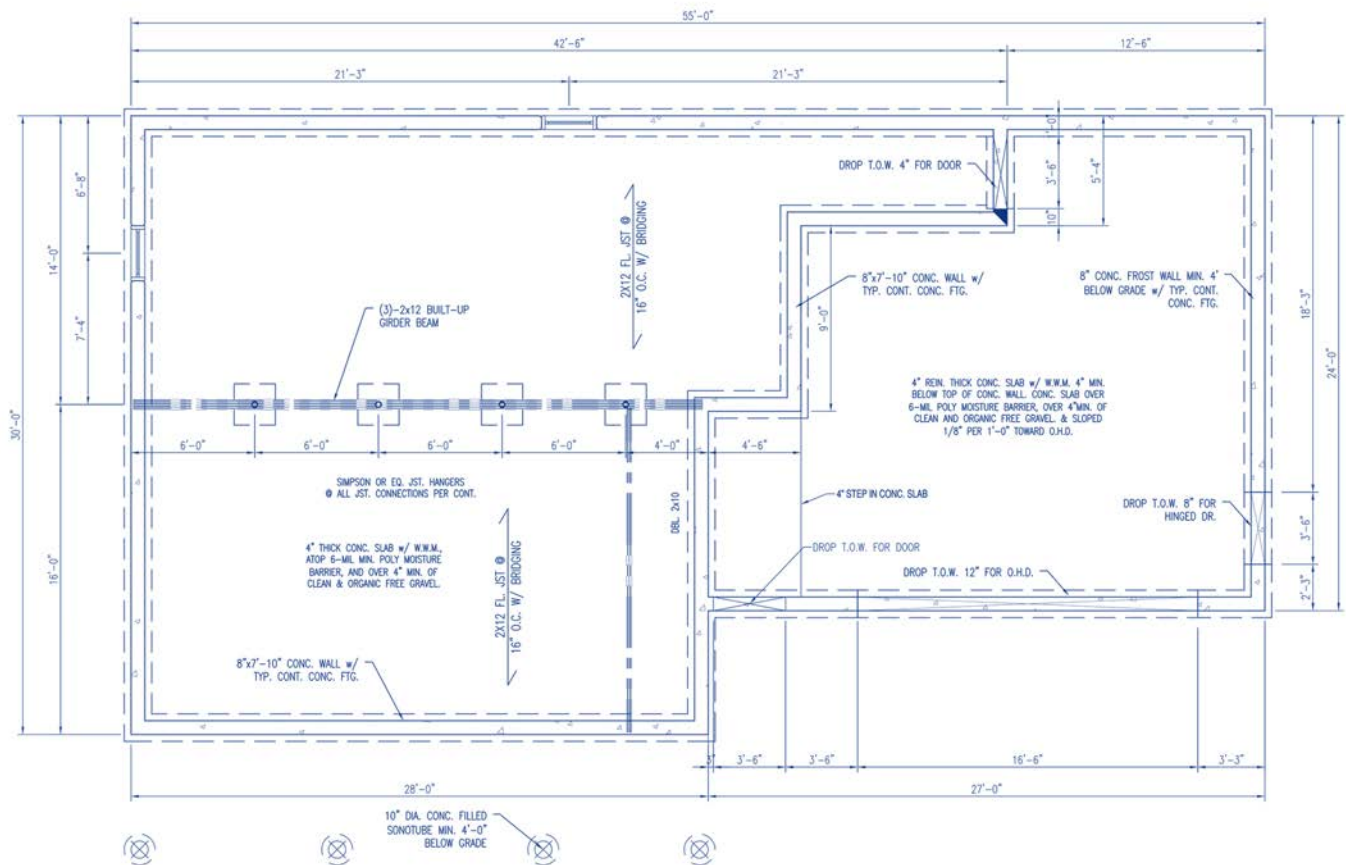
The Jackman - First Floor Plan



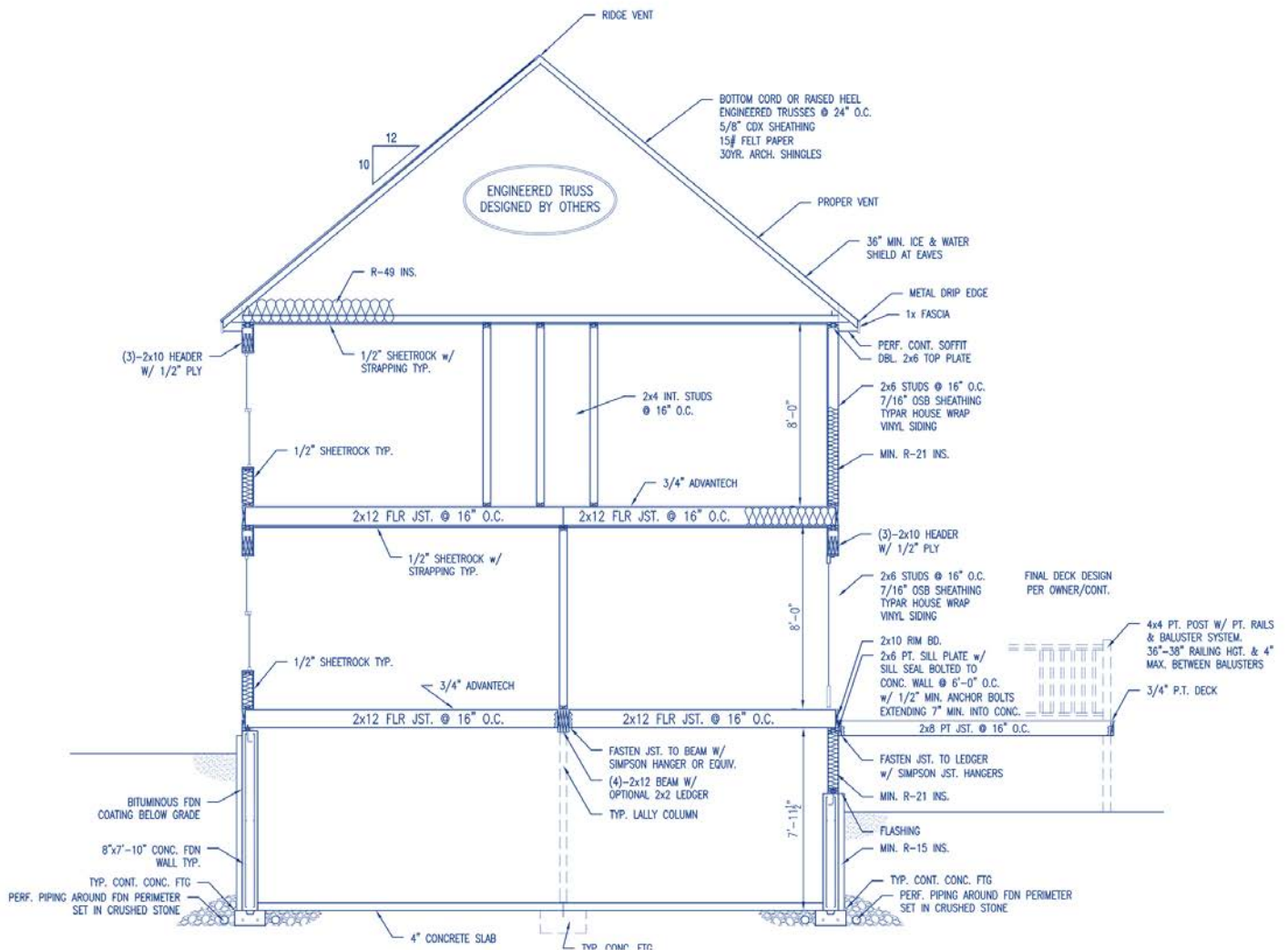
The Jackman - Second Floor Plan



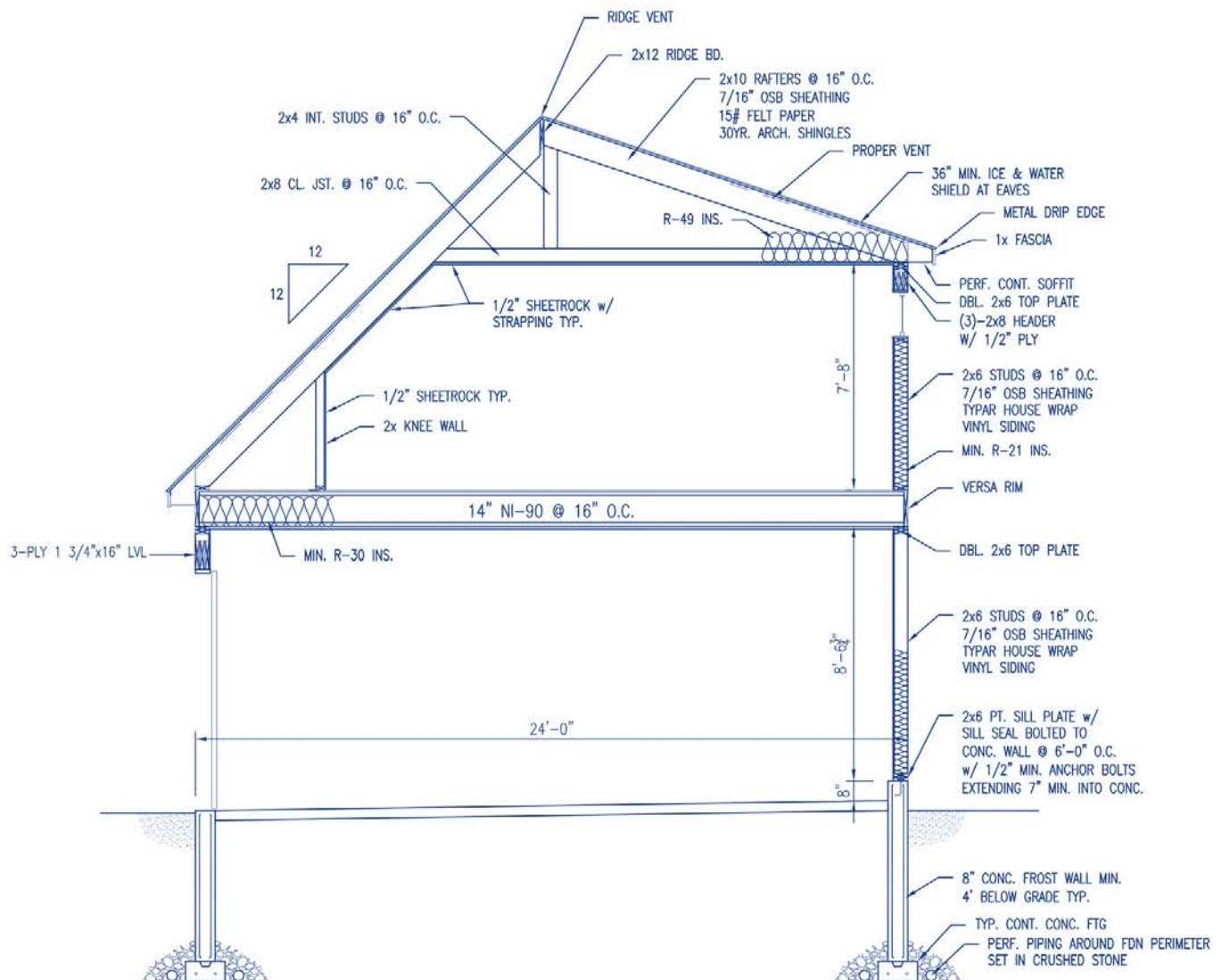
The Jackman - Foundation Plan



The Jackman - Cross-section 1



The Jackman - Cross-section 2



The Ruby - Front



The Ruby – Rear



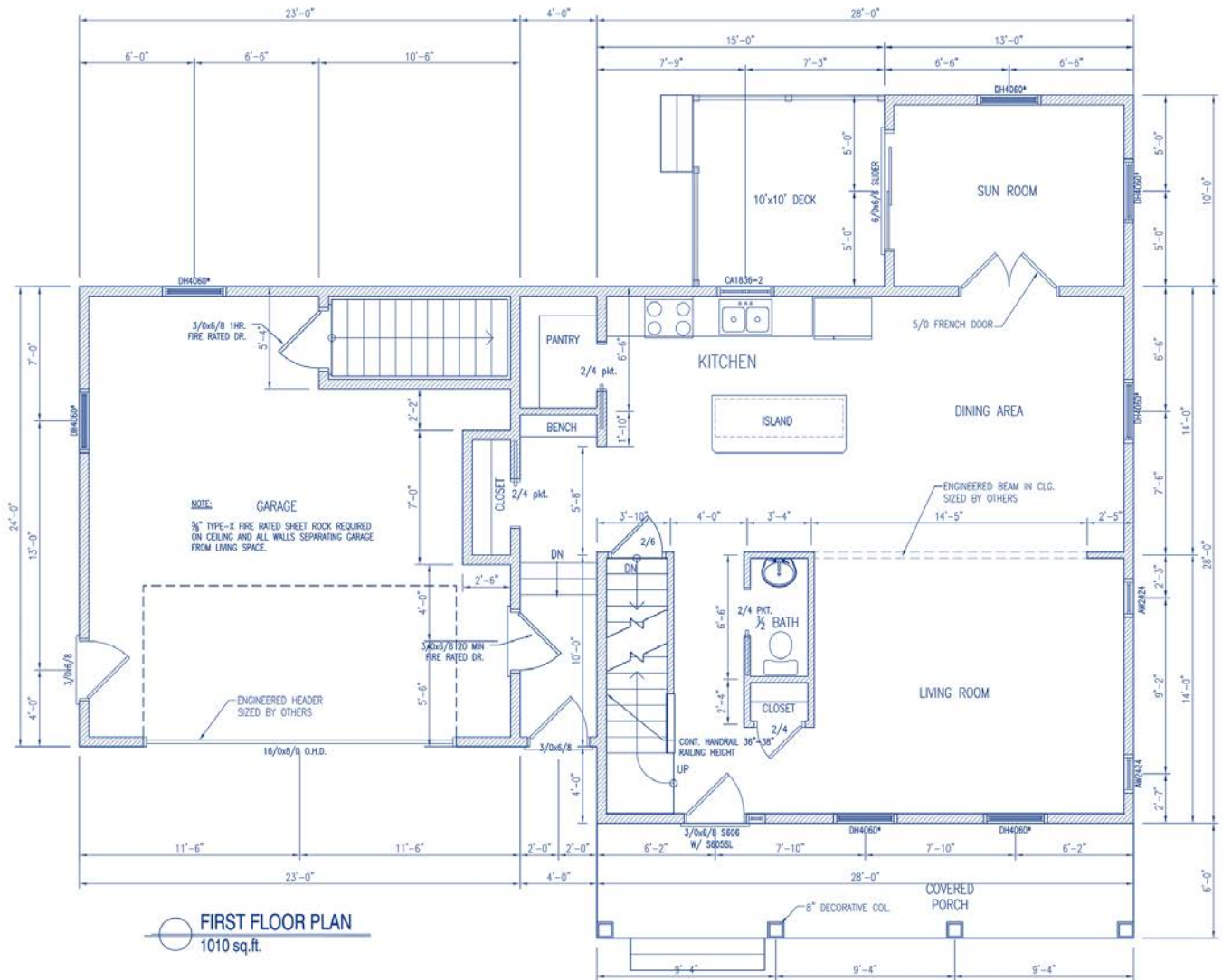
The Ruby – Left



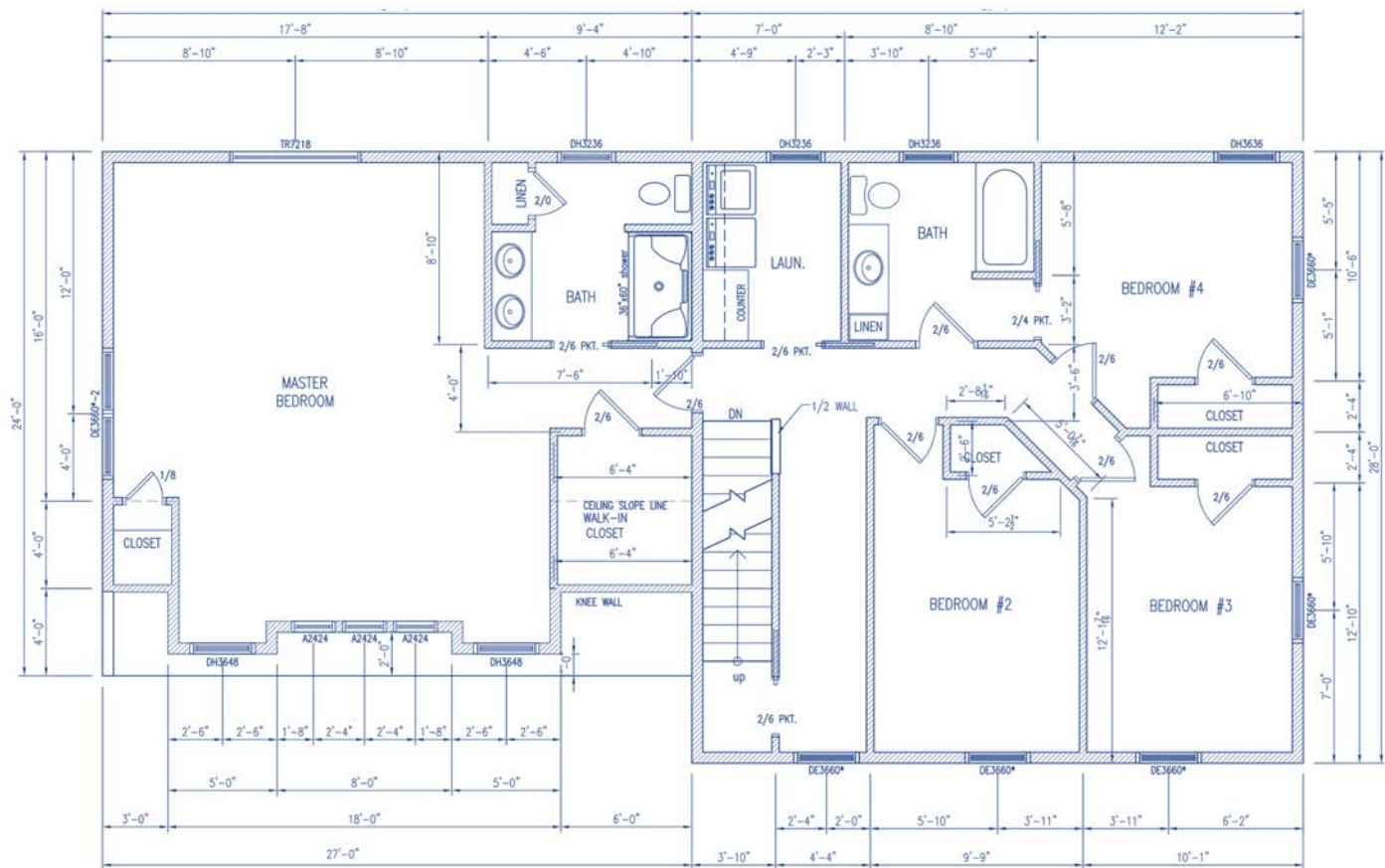
The Ruby – Right



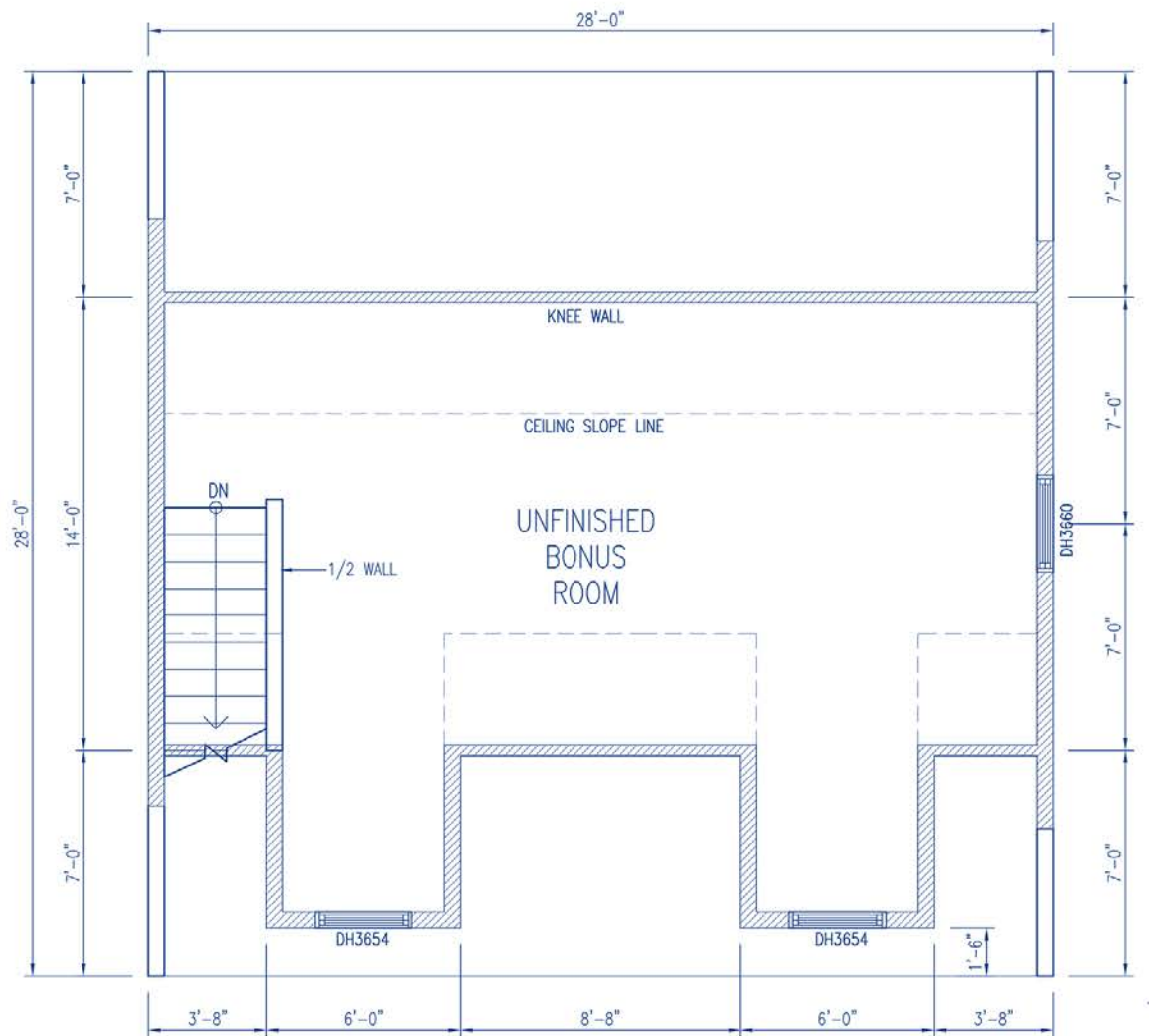
The Ruby – First Floor Plan



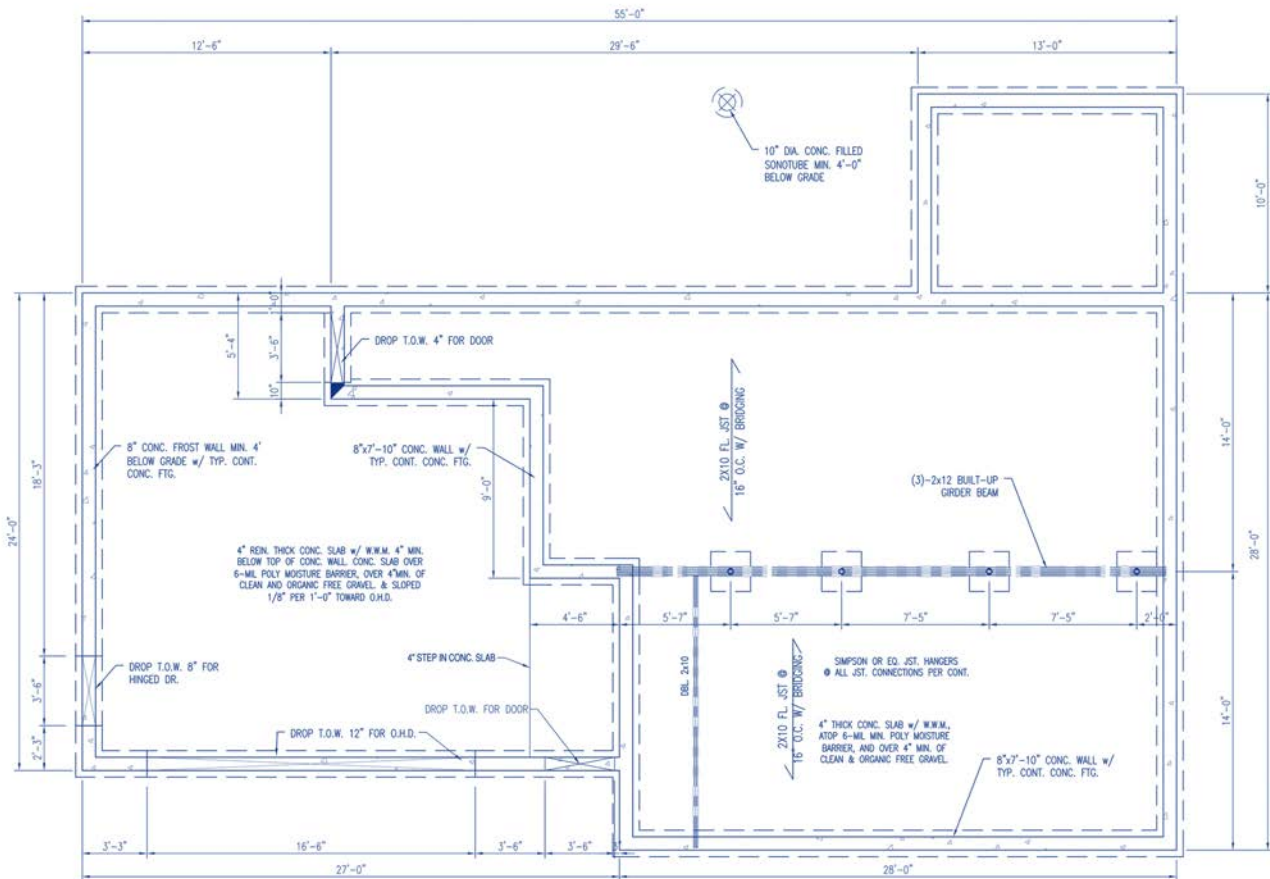
The Ruby – Second Floor Plan



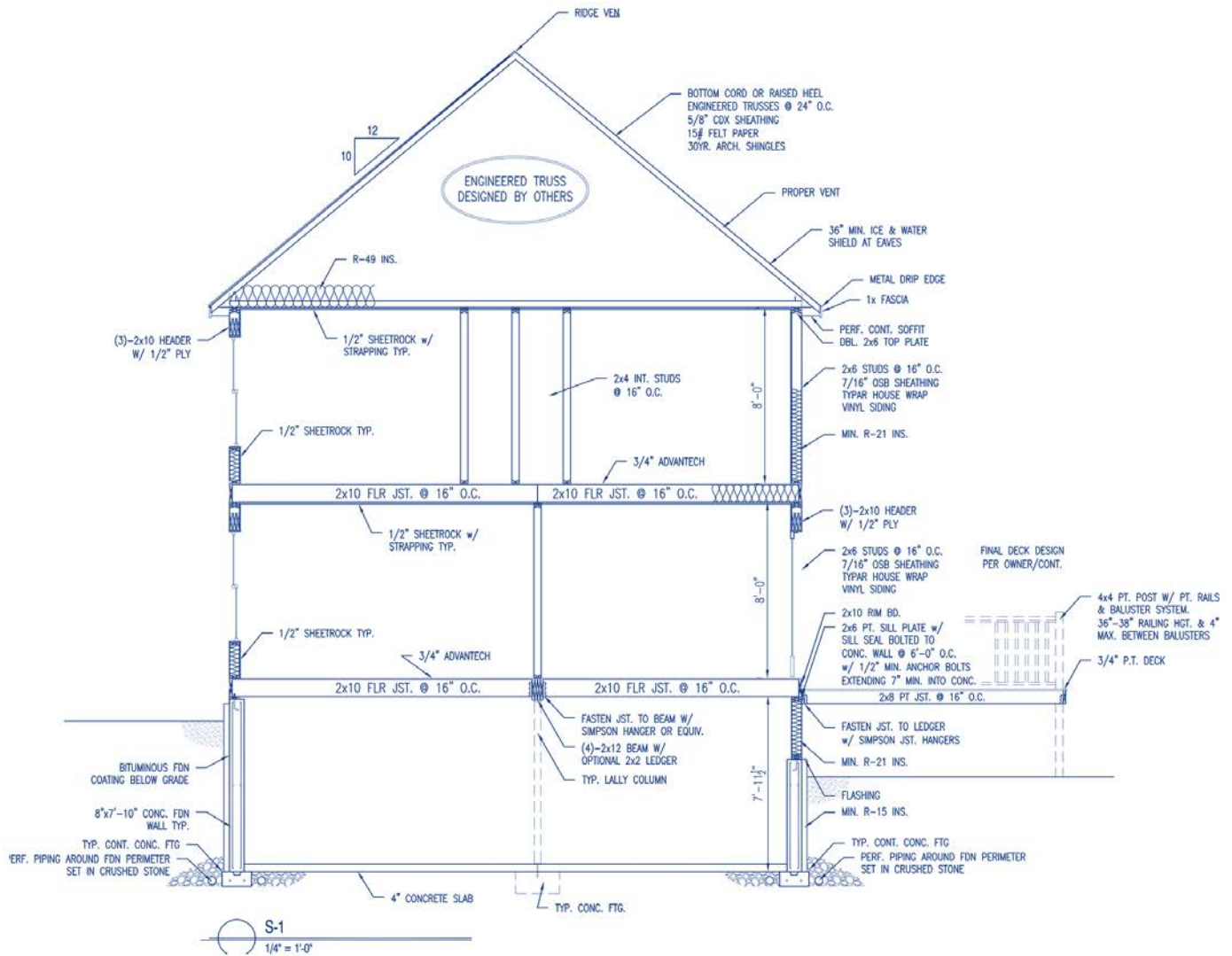
The Ruby – Third Floor Plan



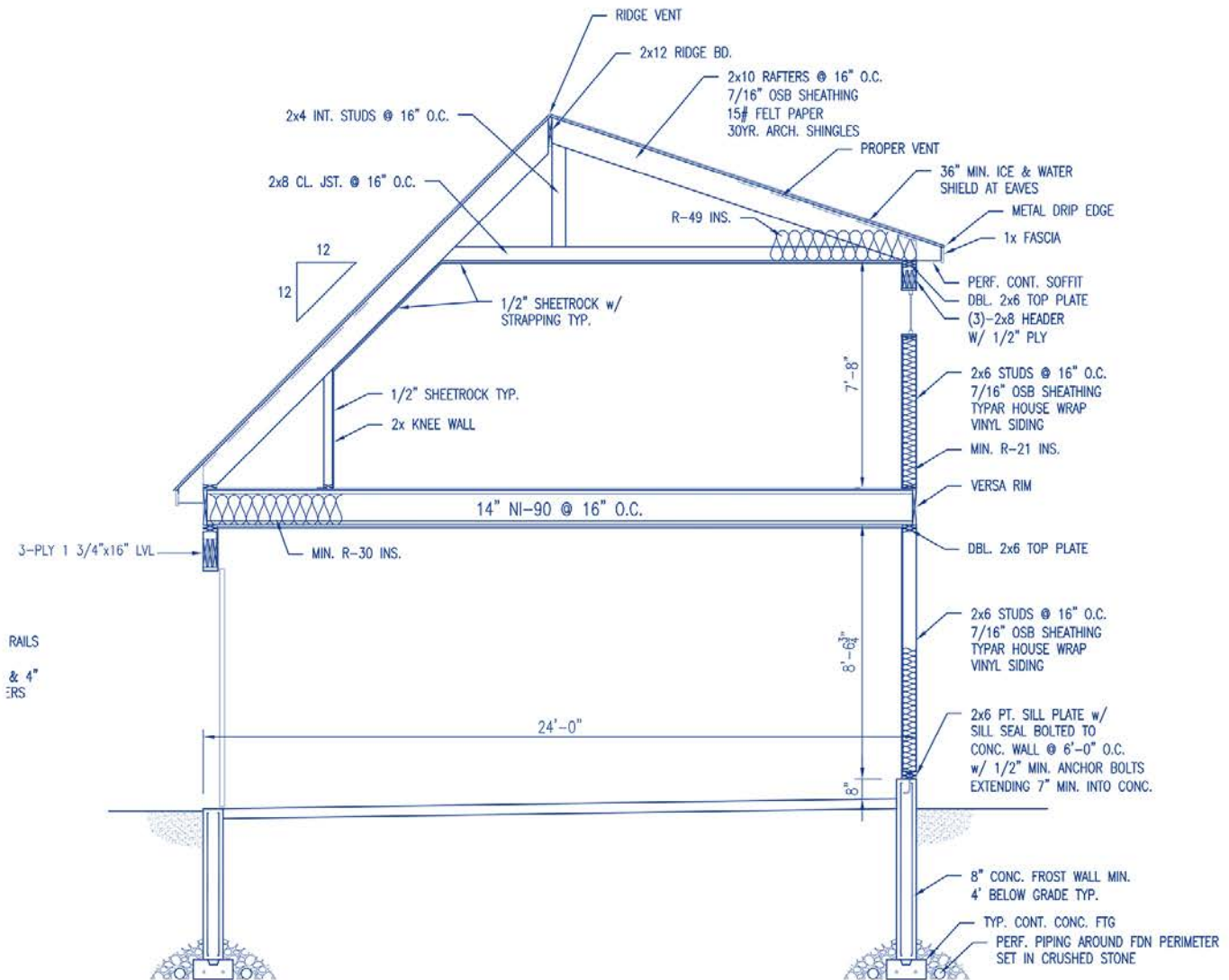
The Ruby – Foundation Plan



The Ruby – Cross-section 1



The Ruby – Cross-section 2



The Modified Will – Front



The Modified Will – Rear



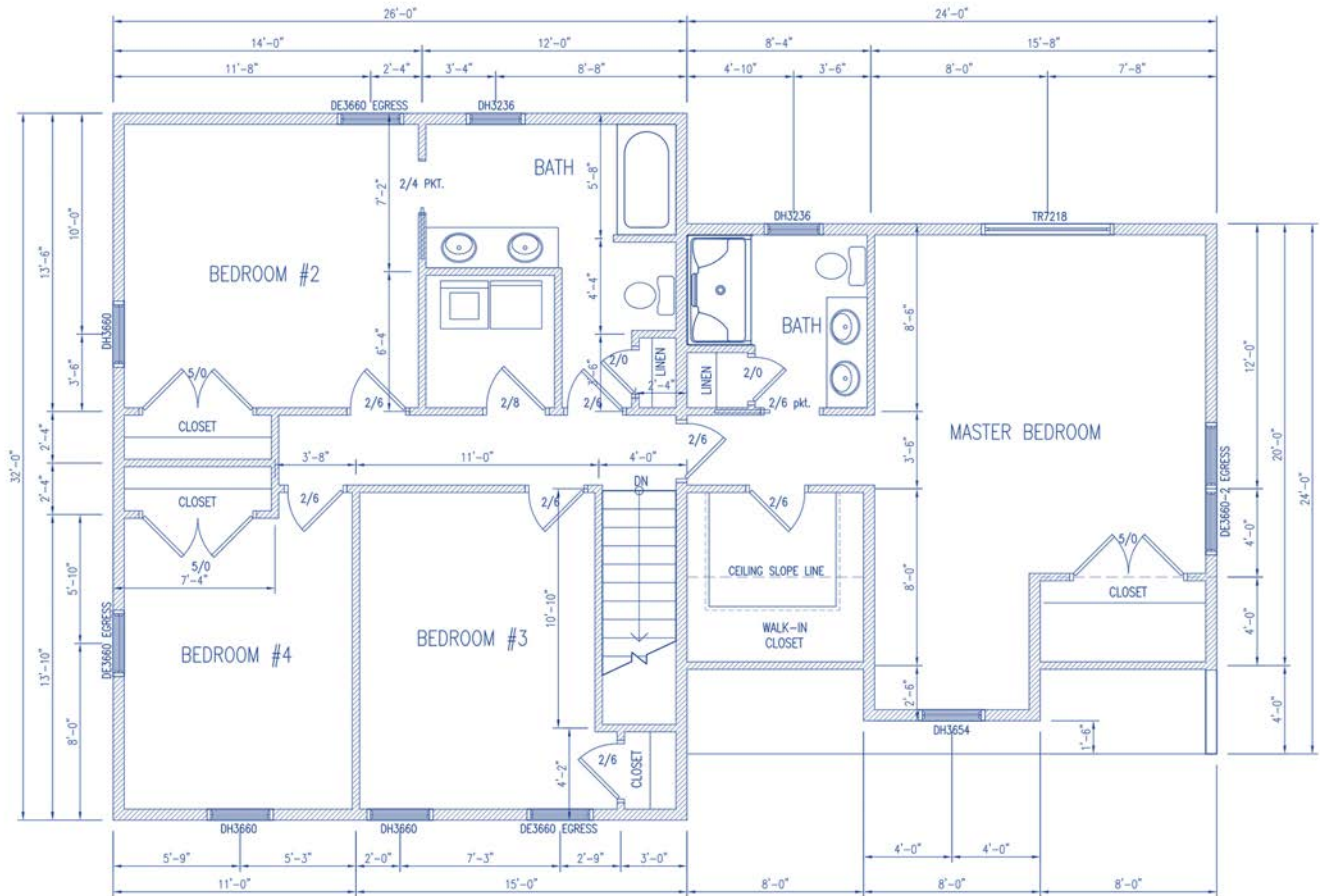
The Modified Will – Left



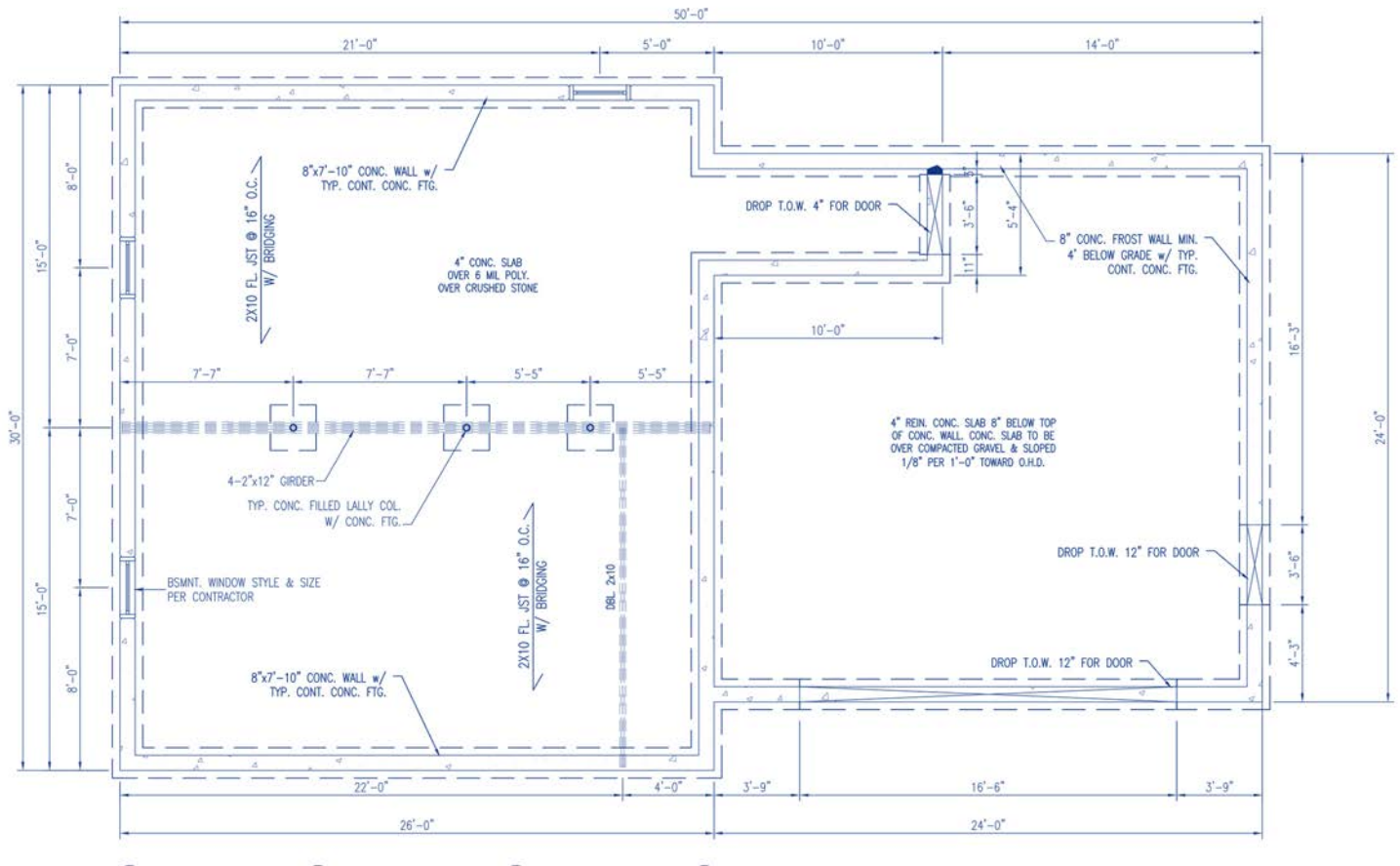
The Modified Will – Right



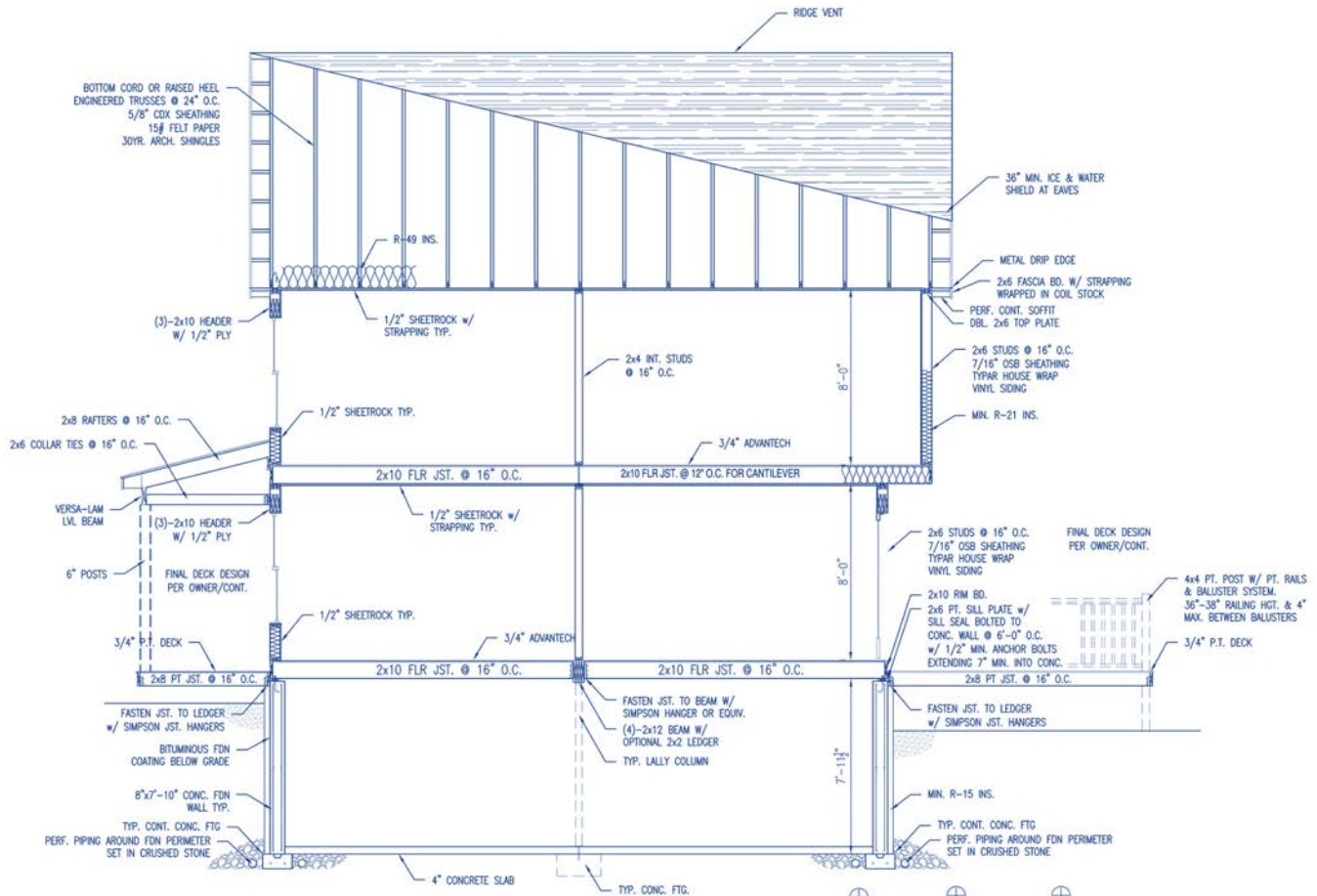
The Modified Will - Second Floor Plan



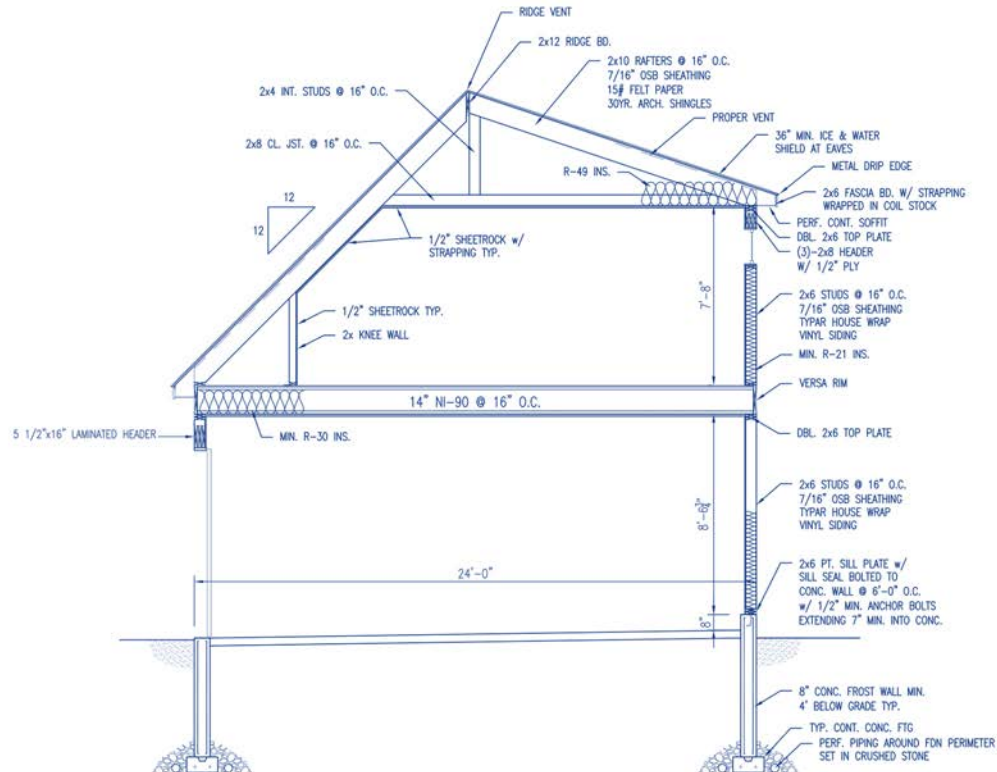
The Modified Will - Foundation Plan



The Modified Will - Cross-section 1



The Modified Will - Cross-section 2



The Ari – Front



The Ari – Rear



The Ari – Left



The Ari – Right

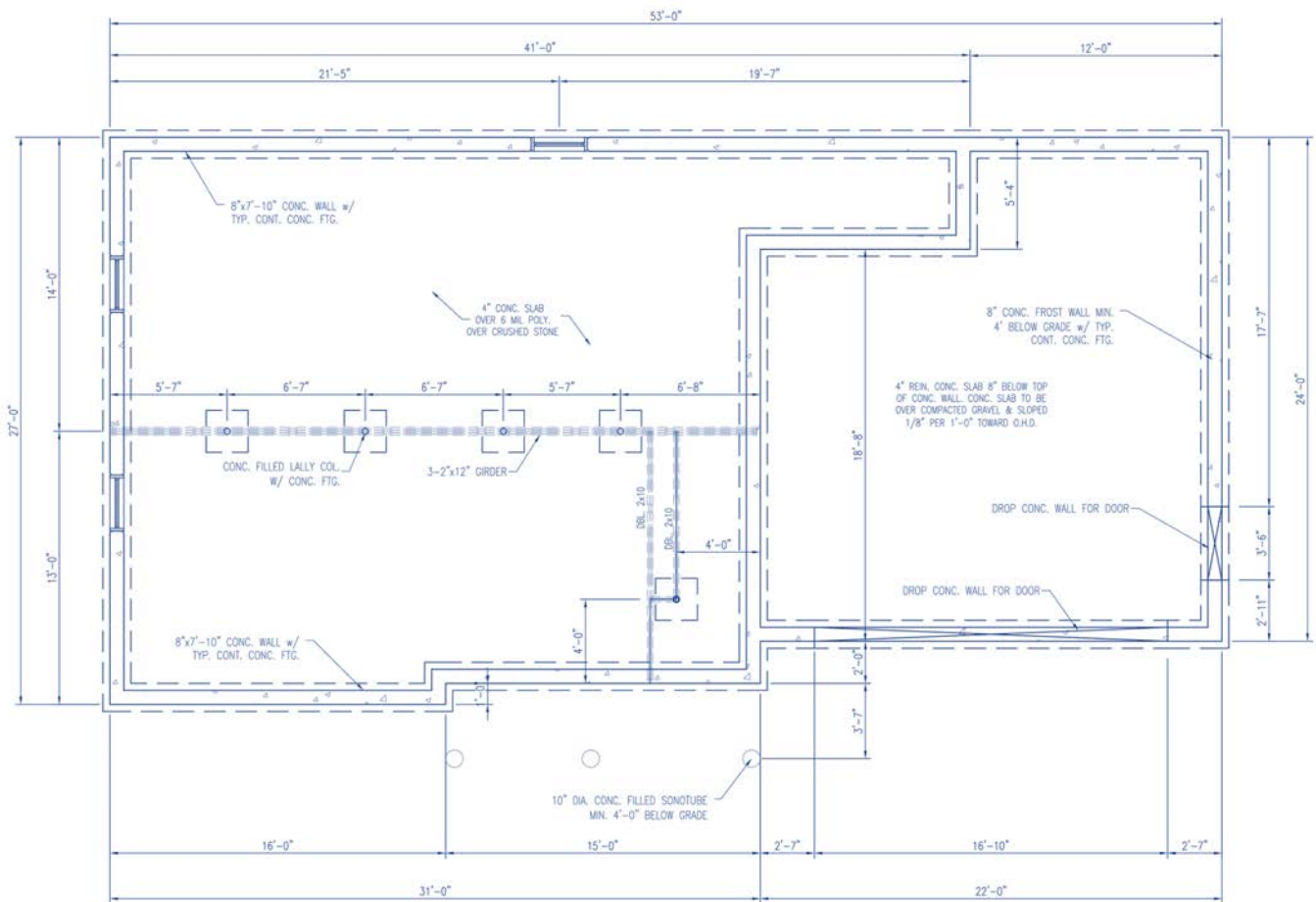


Architectural floor plan showing a residential unit layout. The plan includes a 10'x10' DECK, KITCHEN, DINING ROOM, LIVING ROOM, BATH, CLOSET, FOYER, and GARAGE. Key features and dimensions are as follows:

- DECK:** 10'x10' DECK, 8'-0" wide, 7'-0" deep.
- KITCHEN:** Includes island, sink, and stove. Dimensions: 8'-3" wide, 7'-5" deep.
- DINING ROOM:** 10'-0" wide, 7'-0" deep.
- LIVING ROOM:** 13'-0" wide, 7'-0" deep.
- BATH:** 5'-2" wide, 7'-4" deep.
- CLOSET:** 5'-10" wide, 5'-2" deep.
- FOYER:** 5'-10" wide, 5'-2" deep.
- GARAGE:** 11'-0" wide, 7'-0" deep. Includes a 16/0x8/0 GARAGE DOOR and a 3/0x6/8 20 MIN FIRE RATED DR.
- Structural Elements:** Transoms above doors, fire-rated sheet rock on ceiling and walls separating garage from living space.
- Dimensions:** Overall unit dimensions are 27'-0" wide by 24'-0" deep.

[illegible]

The Ari - Foundation Plan



Architectural cross-section drawing of a house with a gabled roof, showing structural details, materials, and dimensions. The drawing includes labels for roof components (ridge vent, trusses, sheathing, shingles, insulation, drip edge, fascia, soffit), interior framing (rafters, collar ties, header, studs, joists, beams, girders), stairs, and exterior finishes (siding, deck, railing, foundation, slab). Dimensions for heights, widths, and offsets are provided throughout the section.

Roof and Exterior Details:

- ROOF VENT
- BOTTOM CORD OR RAISED HEEL ENGINEERED TRUSSES @ 24" O.C.
- 5/8" CDX SHEATHING
- 15# FELT PAPER
- 30#R. ARCH. SHINGLES
- PROPER VENT
- 36" MIN. ICE & WATER SHIELD AT EAVES
- METAL DRIP EDGE
- 2x8 FASCIA W/ 1x4 SHADOW BD. WRAPPED IN COIL STOCK
- PERF. CONT. SOFFIT DEL. 2x6 TOP PLATE
- 2x6 STUDS @ 16" O.C.
- 7/16" OSB SHEATHING
- TYPAR HOUSE WRAP
- VINYL SIDING
- MIN. R-21 INS.

Interior Framing and Structure:

- (3)-2x10 HEADER W/ 1/2" PLY
- 1/2" SHEETROCK w/ STRAPPING TYP.
- 2x8 RAFTERS @ 16" O.C.
- 2x4 COLLAR TIES @ 16" O.C.
- 3-2"x8" BEAM WRAPPED IN COIL STOCK
- 8" DECO. SUPPORT COL.
- FASTEN JST. TO LEDGER w/ SIMPSON JST. HANGERS
- 3/4" P.T. DECK
- 2x10 FLR JST. @ 16" O.C.
- 3/4" ADVANTECH
- 2x10 FLR JST. @ 16" O.C.
- 3/4" ADVANTECH
- 2x10 FLR JST. @ 16" O.C.
- FASTEN JST. TO BEAM w/ SIMPSON HANGER OR EQUN.
- (3)-2x12 GIRDER
- TYP. LALLY COLUMN
- 4" CONCRETE SLAB
- FASTEN JST. TO LEDGER w/ SIMPSON JST. HANGERS
- 2x8 PT. JST. @ 16" O.C.
- 2x10 RIM BD.
- 2x6 PT. SILL PLATE w/ SILL SEAL BOLTED TO CONC. WALL @ 6'-0" O.C. w/ 1/2" MIN. ANCHOR BOLTS EXTENDING 7" MIN. INTO CONC.
- 2x8 PT. JST. @ 16" O.C.
- 4x4 PT. POST W/ PT. RA & BALUSTER SYSTEM. 36"-38" RAILING HGT. & MAX. BETWEEN BALUSTERS
- 3/4" P.T. DECK
- 4" PT. POST
- MIN. R-15 INS.
- TYP. CONT. CONC. FTG
- PERF. PIPING AROUND FON PERIMETER SET IN CRUSHED STONE

Stairs and Foundation:

- 10"
- 7 1/2"
- 6'-8" MIN.
- 10"
- 7 1/2"
- 8"x7"-10" CONC. FON WALL TYP.
- BITUMINOUS FON COATING BELOW GRADE MIN. R-15 INS.
- 4" CONC. FILLED BUILDER TUBE MIN. 4'-0" BELOW GRADE
- 3-2"x8" PT. BEAM

The Holly – Front



The Holly – Rear



The Holly – Left



The Holly – Right

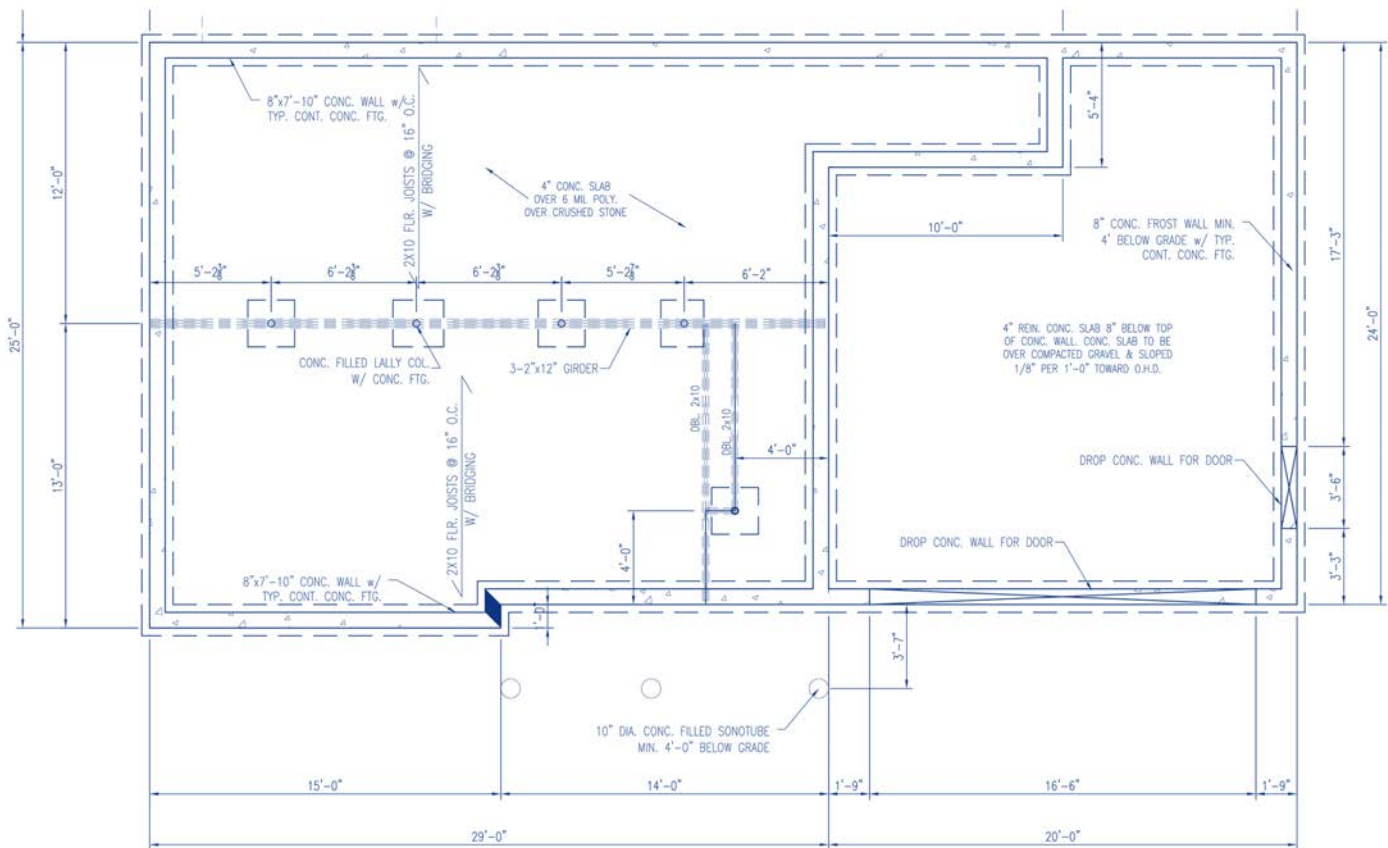


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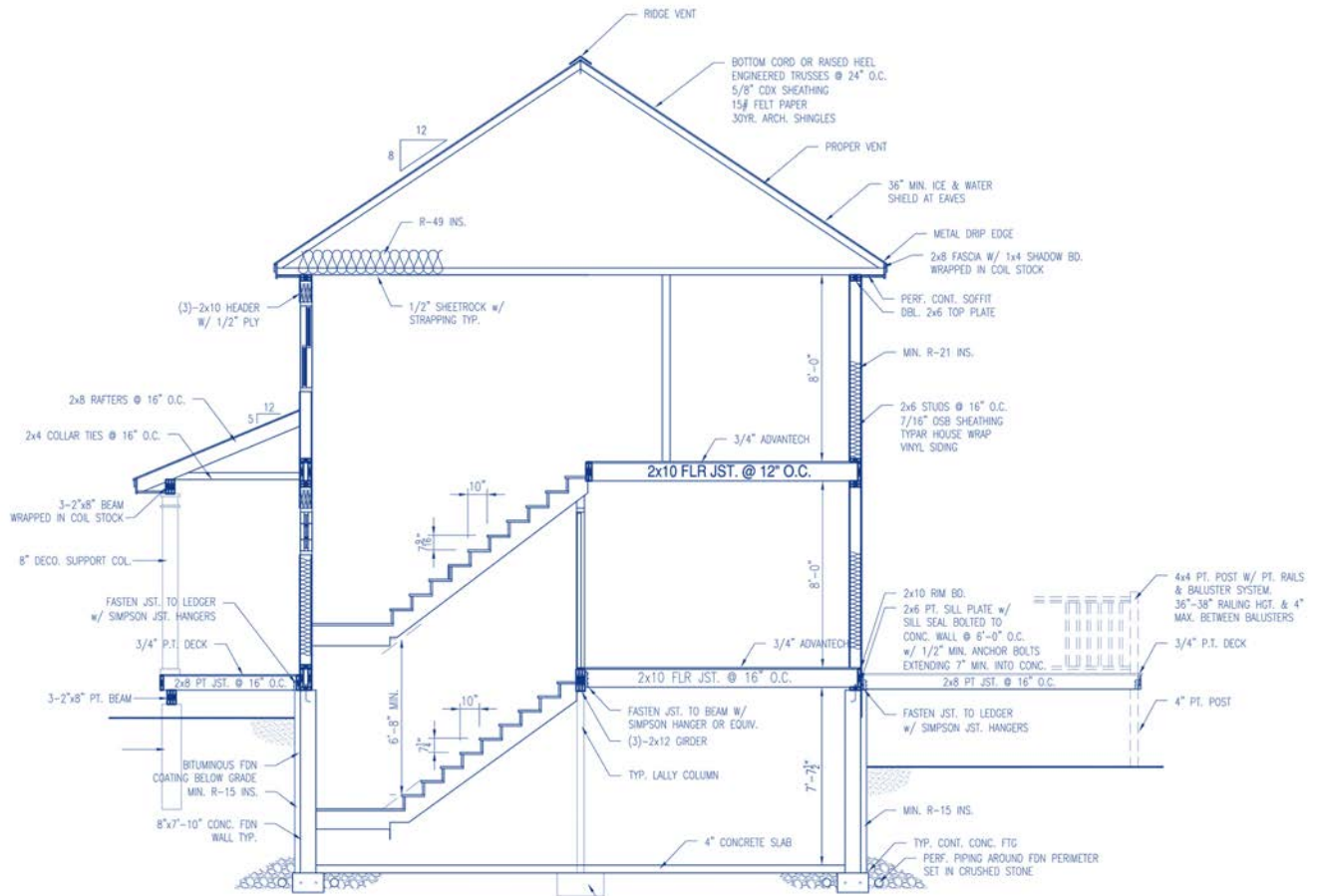
Floor Plan Details:

- Bedroom #2:** 10'-4" wide, 9'-8" deep. Features a closet and a door labeled DE3660 (EGRESS).
- Bedroom #3:** 11'-0" wide, 9'-8" deep. Features a closet and a door labeled DE3660 (EGRESS).
- Master Bedroom:** 15'-0" wide, 13'-0" deep. Features a closet, a girder truss, and a door labeled DH4060-2 (EGRESS).
- Bathrooms:**
 - Bedroom Bath:** 32" x 60" tub/show, 2/4" PKT.
 - Master Bath:** 33" von, 2/4 PKT.
 - Laundry:** 36" x 60" shower, 2/4 PKT.
- Hallway:** 14'-0" wide, 6'-9" deep. Features a linen closet, a walk-in closet, and a door labeled DN.
- Dimensions:**
 - Overall width: 15'-0"
 - Overall depth: 25'-0"
 - Room widths: 7'-6", 6'-6", 3'-6", 5'-8", 2'-0", 2'-10"
 - Room depths: 9'-8", 13'-0", 6'-9", 6'-3", 4'-6", 4'-0"

The Holly - Foundation Plan



The Holly - Cross-section 1



The Modified Ari – Front



The Modified Ari – Rear



The Modified Ari – Left

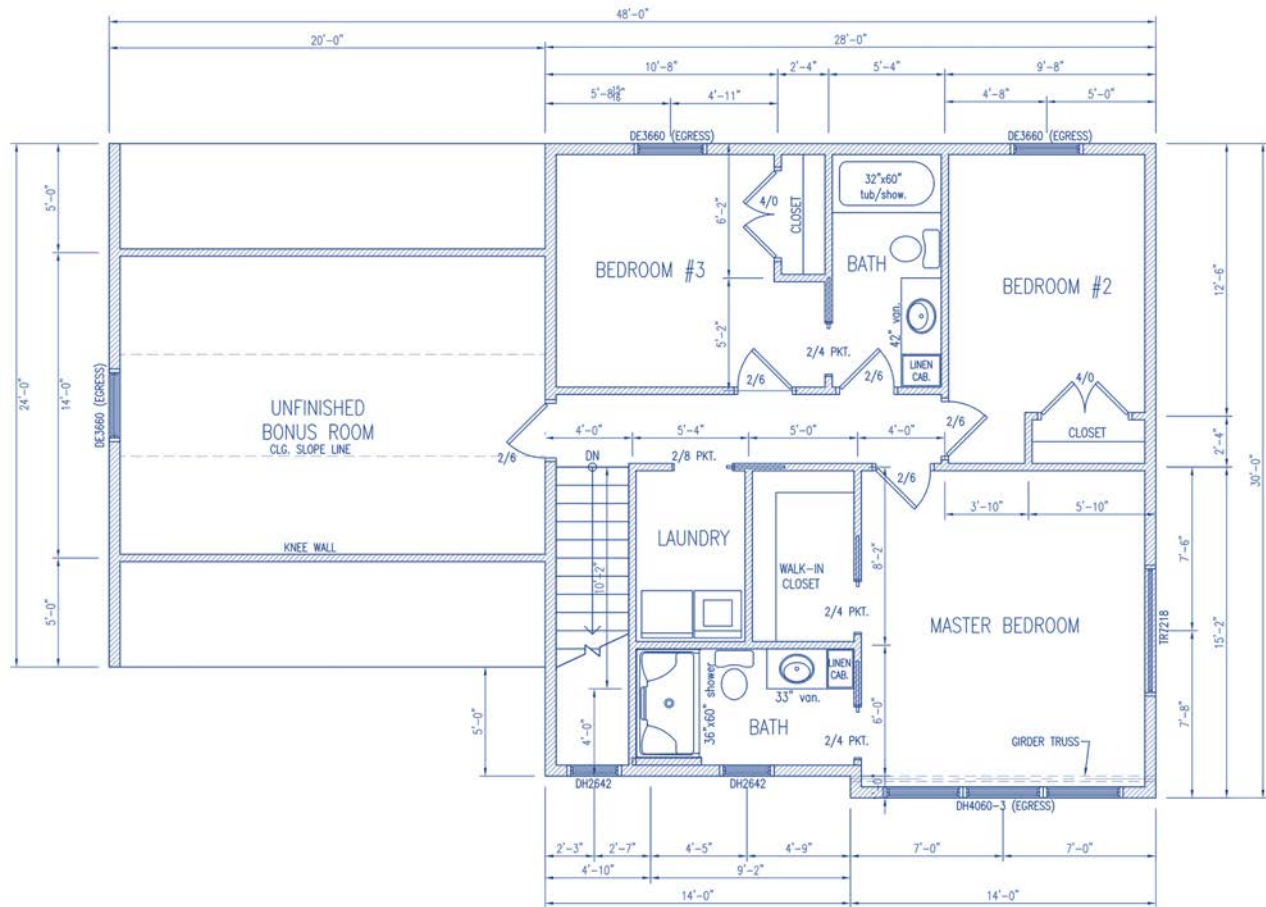


The Modified Ari – Right

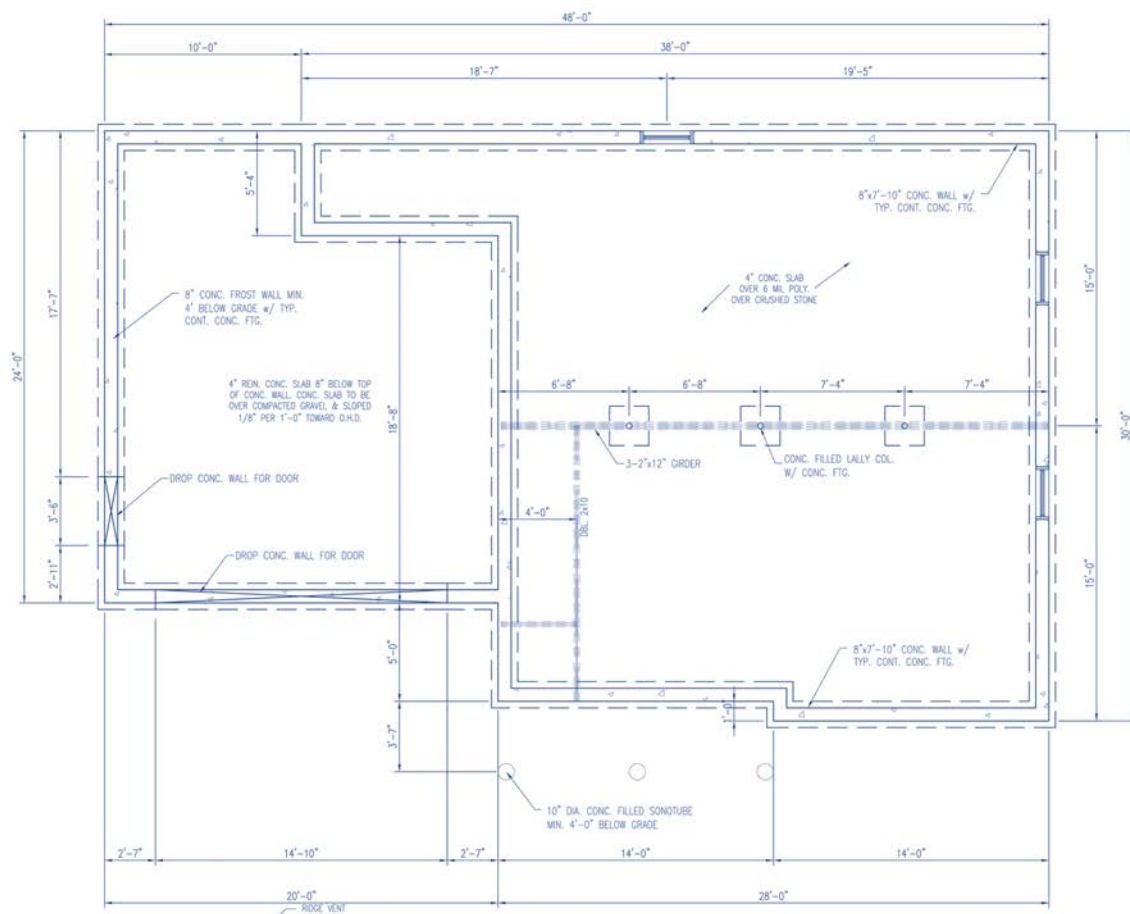


[illegible]

The Modified Ari - Second Floor Plan



The Modified Ari - Foundation Plan



Architectural cross-section drawing of a house, showing the roof, exterior walls, interior staircase, and foundation details. The drawing includes various structural and finishing components, such as rafters, trusses, sheathing, insulation, siding, and concrete elements.

Roof Details:

- RIDGE VENT
- BOTTOM CORG OR RAISED HEEL ENGINEERED TRUSSES @ 24" O.C.
- 5/8" CDX SHEATHING
- 15# FELT PAPER
- 30YR. ARCH. SHINGLES
- PROPER VENT
- 36" MIN. ICE & WATER SHIELD AT EAVES
- METAL DRIP EDGE
- 2x8 FASCIA W/ 1x4 SHADOW BD. WRAPPED IN COL STOCK
- PERF. CONT. SOFFIT DBL. 2x6 TOP PLATE
- 2x6 STUDS @ 16" O.C.
- 7/16" OSB SHEATHING
- TYPAR HOUSE WRAP
- VINYL SIDING
- MIN. R-21 INS.

Exterior Wall Details:

- (3)-2x10 HEADER W/ 1/2" PLY
- 1/2" SHEETROCK w/ STRAPPING TYP.
- R-49 INS.
- 2x8 RAFTERS @ 16" O.C.
- 2x4 COLLAR TIES @ 16" O.C.
- 3-2"x8" BEAM WRAPPED IN COL STOCK
- 8" DECO. SUPPORT COL.
- FASTEN JST. TO LEDGER w/ SIMPSON JST. HANGERS
- 3/4" P.T. DECK
- 2x8 PT JST. @ 16" O.C.
- 3-2"x8" PT. BEAM
- CONC. FILLED BUILDER TUBE MIN. 4'-0" BELOW GRADE
- BITUMINOUS FDN COATING BELOW GRADE MIN. R-15 INS.
- 8"x7'-10" CONC. FDN WALL TYP.

Interior Details:

- 10"
- 7/8"
- 5'-8" MIN.
- 10"
- 7/8"
- 2x10 FLR JST. @ 16" O.C.
- 3/4" ADVANTECH
- 2x10 FLR JST. @ 16" O.C.
- 3/4" ADVANTECH
- FASTEN JST. TO BEAM W/ SIMPSON HANGER OR EQUIV.
- (3)-2x12 GIRDER
- TYP. LALLY COLUMN
- 4" CONCRETE SLAB
- MIN. R-15 INS.
- TYP. CONT. CONC. FTG
- PERF. PIPING AROUND FDN PERIMETER SET IN CRUSHED STONE

New Construction Specification Sheet Addendum to Purchase and Sales Contract

Date: updated 5/17/2016

Property: Lot

Builder: Graiver Homes, Inc.

Purchaser Contact Phone & Email: TBD

House Design Name: The

Purchase Price: \$

This New Construction Specification Sheet Addendum to purchase and sales contract sheet is to supplement a standard purchase and sales contract. This addendum is to be signed upon signing purchase and sales agreement. Estimated start date for work on this home shall be TBD and the estimated completion date TBD. This date may be subject to change due to delays caused by events out of the control of builder including, but not limited to, material and labor delays, damaged or stolen materials, add-ons or changes requested from buyer, failure to select allowance items in a timely manner, loss or damage from fire, weather related events or acts of nature. Even if due to builders alleged negligence or fault buyer agrees that builder is not responsible for delays due to the foregoing circumstances and that regardless of the source of delay, builder shall have no responsibility for interest rate increases if the construction time exceeds buyers' mortgage lock in interest rate deadline or any other costs associated to delay.

If work is not specified in this contract, in the plans or specifications, then it is not included.

Builder shall be responsible for portable sanitary services, builders risk insurance, dumpster removal for debris and general jobsite cleaning. Upon completion, builder will remove all excess materials and home will be professionally cleaned.

Builder will also be responsible for all labor and materials, electricity and fuel until closing along with any heating costs necessary until closing.

Builder shall be responsible for all permitting costs.

Water Supply

☒	Public
☐	Drilled well with pump, pump tank and sediment filter along with all piping.
☐	Other
	Notes:

Sewer

☒	Public Sewer
☐	Septic Tank and Leach Field
☐	Other
	Notes:

Roof Shingles

☒	Asphalt: Lifetime warranty architectural BP Color: Shadow Black
☐	Wood Material
☐	Fiberglass
☐	Other
☒	Notes: Continuous ridge vent covered with roof shingles and aluminum shed step flashing where required. Gutters are NOT included. Should buyer wish to have installed, buyer shall pay for labor and materials.

Exterior Covering

☒	Vinyl Siding: Siding.044 Thickness
☐	Pine Clapboard
☐	Cedar Clapboard
☐	Masonite Board
☐	Other
☒	Notes: Notes: If not already installed, buyer shall have a selection of the following Cellwood colors. White, Almond, Autumn Tan, Beige, Ivory, Mist, Olive, Pewter, Sand, Stone Gray, Sunrise Yellow, Wicker, Khaki, Nantucket Gray, Slate Blue, Thistle, Willow. See builder's samples in showroom.

Windows and doors to be wrapped with 1 inch by 4 inch white vinyl. Fascia and soffits to be wrapped as well.

Windows

X	Insulated Double Glass	X	Vinyl White
	Single Pane Glass		Wood Primed
	Triple Glass		Wood Un-Primed
	Combination Windows	X	Full Screens- Buyer to install screens post-closing.
X	Notes: Brand of window- Hancock Classic		

Exterior Doors:

X	Metal (# determined by plan) Builder to install Thermatru brand doors from the Smoothstar line. See Builders Brochure for Choices, if not chosen already by builder
	Wood
x	Other: Slider will be installed to the back deck. (if applicable)
X	Notes: Front door will be painted a Sherman Williams color chosen by builder.

Interior Doors

X	1. Notes: Interior doors to be Hollow Core Masonite Molded Panel Series. If builder has not chosen interior door, buyer may choose from builder's interior door brochure. Hardware: If Builder has not chosen Hinge and Door knob choice, buyer will have the choice of finish and style of choices in builder's showroom. Deadbolts will be installed on Front Door and Mudroom Door only. Additional Deadbolts will be an overage charge of \$125.00 for deadbolt and installation.
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Garage Door

X	See Builder's Garage Door Brochure for choices, if builder has not already chosen.
x	Notes: Doors are to be purchased thru Brisk Doors Contact Info: David Close Tel: (207) 329-1855 located at 31 George Street, Gorham, ME

Bulkhead

☐	Metal bulkhead
☒	Direct Entry for Garage
☐	Other:
Notes: Direct entry from garage to basement and egress window from basement.	

Front Steps and Decking

☐	Shawnee
☐	Pressure
☐	Brick
☒	Granite: Step(s) number of steps determined by final grade
☒	Other: Cedar Decking
☒	Notes: Should front porch require railings per code, buyer is responsible to cost of material and labor for a white vinyl railing system that builder chooses.

Exterior Back Deck

☐	Yes
☐	No
☒	Other- Concrete Patio
☒	Notes: 14x14 concrete patio or the size of patio as shown on plans on all interior lots.

Wall Cover

Notes: 1/2" sheetrock with taping and sanding is standard throughout the house. See further "Notes" Section of this form. Paint Color: If house is not already painted, buyer may select a maximum of two (2) Sherwin William's paint colors. Additional paint colors (more than 2) will be and additional charge of \$200 per color. Any and all paint colors MUST be approved by builder. Builder has the right to refuse and/or charge additional money for any and all paint colors, including but not limited to darker or bright colors. Builder is not responsible for painting the stairwell into the basement. Garage to be primed.	
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Interior Trim and Base

X	Farm House Style: 3 1/4 inch flat stock sides with 5 1/4 header with bullnose trim.
—	Clamshell
—	Other: Stafford Trim
X	Notes: Trim is painted Quali-kote semi-gloss white by Sherman Williams.

Paint Color	For Trim Package
X	Ceilings Sprayed
	Textured
X	Notes: Painted White

Insulation

Location	Amount	R-Factor
Sidewalls	6"	R-19
Roof Cap	12"	R-38
Basement & 1 st Floor	6"	R-19
Notes: The installation of insulation in the proposed construction will meet or exceed Chapter 214.5 which establishes minimum energy building standards for new residential construction. All insulation to meet or exceed 12.1.2010 updated energy code standards.		

Flooring

Allowance:	Hardwood Flooring Allowance: If Builder has not already selected hardwood buyer may choose from the approved hardwood selections from builders showroom. Hardwood flooring to be installed on the entire first floor main level other than mudroom (if applicable) and bathroom. Hardwood treads on stairway to second floor and 2nd floor hall. All wood selections must be ¾ inch in thickness and indigenous to the State of Maine. Tile Allowance: If Builder has not already selected tile, buyer may choose from the approved tile selections from builders showroom.. Tile to be installed in all bathrooms, mudroom and laundry room. Tile layout and grout spacing to be installed per builder's discretion. Carpet Allowance- If Builder has not already selected hardwood buyer may choose from the approved hardwood selections from builders showroom. Carpet to be installed in all bedrooms. Stairways to basement and third floor shall remain plywood: Builder must approve all choices and has a right to refuse and/or charge additional funds for any and all of the above referenced choices. Builder chooses the layout of all tile and spacing of grout. If buyer wishes to have tile laid a specific way, builder must approve tile layout and has to right to charge addition monies. If buyer has chosen a hardwood flooring with a dark stain there will be an additional cost of \$1000.00 for the finishing of stair and handrail parts if buyer wishes for them to match hardwood flooring, if applicable.
Notes: All flooring MUST be from: Classic Flooring Contact Info: Nick Smack Tel: (207) 883-78474 located at 29 U.S. 1, Scarborough, ME 04074	

Lighting/Electrical

Allowance:	Buyer may choose from builder's approved lighting list if builder has not already chosen, see Builder's Lighting Brochure. Allowance \$1,000.00
Notes: All work to meet or exceed local and state codes. Service to be 100 AMP panel with underground feed from transformer. All electrical work is to installed by Chris Charest: Contact: 207-838-9698 Lighting Choices: Builder to supply light for Lamppost. Buyer agrees to be responsible choose lighting within 4 business days from builders request. All Exterior Lighting MUST be black. All lighting MUST be Chosen from builders lighting selection book. Builder is not responsible for damaged or broken lights.	

Builder will install the following:

Up to 5 prewired cable TV outlets.

All necessary wiring for appliances.

Eight (8) Recess lights (location determined by builder)

Up to 4 USB outlets 1 in Kitchen, 1 in master and 1 in each bedroom

Basement lighting will be single bulb keyless fixtures, number TBD by builder.

Two (2) Exterior GFI outlets.

Door chime purchased and installed by builder.

Installation of two (2) Pendant lights (purchased by homeowner) above kitchen island.

Installation only of lights in any walk-in closet.

Kitchen Cabinets, Granite Countertop and Sink

See Builder's Kitchen Design

Includes the following:

Kitchen- Cabinets with crown, Level 1 Granite, Single bowl under mount sink and hardware.

Full Bathrooms - Cabinet(s), Level 1 granite with under mount sink and hardware.

Notes: Kitchen, Bathrooms and hardware to be purchased from:

New England Kitchens: Located at 1400 Washington Ave Unit 2
Portland, Maine 04103

Contact Info: Bernie or Melissa at New England Kitchens New England Kitchens

New England Kitchens
1400 Washington Ave Unit 2
Portland, Maine 04103
Voice 207-878-2641
Fax 207-878-2803
design@newenglandkitchens.com
www.newenglandkitchens.com

Cost, color and design to be approved by builder. If builder has not made choices buyer may choose the finish color of cabinets, hardware and granite from builders approve choices from Builder's showroom. Note please see builder's approved bath and kitchen layout/design. These designs to be initialed and supersede any designs on house plan. Designs on the house plans are for visual purposes ONLY.

Bathroom Vanity Cabinets and Sink

Allowance: Included in Kitchen allowance as indicated above

Notes: Cost, color and design to be approved by builder. 1/2 Bathroom to have pedestal sink. Kitchen and Bathroom cabinet design on the house plan are for visual purposes only. Kitchen and bath layout/ design is subject to a final measurement and may vary from builders initial approved designs/layout.

Kitchen Appliances

Allowance: Builders Pre-Negotiated Appliance package. See builder's Brochure

Notes: Allowance is cash value only and does not adjust due to any rebates buyer may apply for. All applicable state taxes should be considered with pricing and included in the given allowance. It is the sole responsibility for buyer to mail in any applicable rebates.

All appliances to be purchased from:

LP Appliance

Contact Info: Ryan

LP Appliance 54 Bridgton Rd, Westbrook, ME 04092 (207) 797-3621

Appliances included in allowance: Fridge, Gas Range, Microwave & Dishwasher

Dryer vent: Included and installed by builder. All dryer hookups are to be natural gas.

Washers and/or dryers are NOT included in allowance. Builder is not responsible for the installing or delivery of any washers and/or dryers purchased by buyer(s). Should buyer(s) wish to install any washer and/or dryer prior to closing on their own, buyer(s) MUST get approval from builder. Buyer(s) accept full responsibility for any and all damages to appliances and or the premises and hold harmless builder from any and all damages due to the delivery and/or installation of any washer and/or dryers.

Bath Fixtures/Plumbing: See builders plumbing brochure for plumbing package.

Allowance (Includes any and all tubs, showers, toilets and pedestal sink)

Notes: All plumbing shall meet or exceed local and state codes. All drains, traps, and vents will be PVC (Must choose standard size shown on plans for tub and shower.)

All bathroom fixtures are to be selected from:

The Portland Group

Contact: Ingrid (207) 283-8787 ext. 4084 located at 91 Industrial Park Rd, Saco, ME 04072.

Builder shall approve any and all Choices. Buyer may choose finish of shower trim from builder's show room if not already chosen.

Shower Doors are not included in allowance. If buyer wishes to purchase shower doors on their own an additional installation fee of \$750.00 will be charged for each shower

door.

Kitchen Sink

x	Single Bowl
	Double Bowl
	Cast Iron
	Other
X	Notes: Included in Kitchen allowance.

Chimney

	Type		Hearth		Material
	Woodstove Hook-up		No Hearth		Brick
	Fireplace		Flush Hearth		Stone
	Coal		One Brick Hearth		Block
	Oil Burner		Other		Asbestos
X	Notes: NO CHIMNEY-Direct Vent Heat System.				

Heat System

	Electric Heat
	Oil fired – forced hot water baseboard
	Gas Fired – forced hot air
	Other : Forced Hot Air with Central AC and Rennai Hotwater Heater
X	Notes: Laars Mascot high efficiency condensing boiler FHW Wall Hung Natural Gas 3 Zone Heat Natural Gas Heat

Hot Water

	Electric
X	Off boiler System.
	Other
x	Notes:

Driveway

	Gravel
X	Blacktop (basecoat only)
	Crushed stone
	Other
x	Notes: Paving (basecoat only) will be done prior to closing if weather permits. It is recommended that buyer, at their own expense, finish topcoat in 6 months to a year. If paving basecoat cannot be done for any reason, builder shall provide either buyer, paving company or title company with the exact amount of the estimate to escrow at closing. Escrow funds shall be disbursed at buyer(s) and/or buyer(s) lenders permission. Builder/paver determines the size and location of driveway and any walk ways and turnarounds if applicable. Builder is not responsible for any damage to drive way due to cracking, dents or erosion.

Walkway

	Flag stone
x	Blacktop (basecoat only)
	Crushed stone
	Other:
x	Notes Walkway to be paved with a basecoat ONLY to any front door entries and to the side man door on garage. Builder to determine width and location of walkways. It is recommended that buyer(s), at their own expense, finish topcoat in 6-12 months.

Loam and Seed

	Notes: Builder will install irrigation system, loam and hydro seed all disturbed areas or up to a 25' perimeter around the house. The builder will do initial landscaping of shrubs and lamppost per builder's discretion. If conditions do not allow for the installation of the irrigation system, home to be graded, loamed and hydro seeded, prior to closing, builder shall place funds in escrow for ONLY the estimated costs for the buyer. Builder is not responsible for ruts in yard, run off of seed after lawn has been graded, loamed and hydro seeded. Buyer is responsible for learning how to work irrigation system. Builder does not insure the growth of grass and recommends watering twice daily (once early in the morning and once in the evening) keeping soil moist and fertilizing lawn with a triple 19 fertilizer 3 to 5 weeks from seeding.
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Concrete

	Notes: See plans: Both garage and home foundation walls to be 3000 psi poured
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concrete.

Wall Footings: 10 inch thick by 20 inch wide wall footings,

Column Footings: 2'x2x10

Lally Columns: 3 1/2 inch concrete filled columns

Foundation: 8 inch thick wall by 7 foot 6 inch high full basement walls.

Garage Frost Wall: 3 foot 10 inch

Slabs: 4" thick 3000 psi poured concrete basement slab over ten inches of 3/4 inch stone.

Daylight Basement: If daylight basement is possible, builder to include 2 egress daylight windows location determined by builder.

1. **Mortgage Application:** Buyer agrees to make a formal loan application with Cumberland County Mortgage at cumberlandcountymortgage.com within 2 business days of effective date of this contract.
2. Should buyer choose to utilize Cumberland County Mortgage for the financing of the subject property, Graiver Homes Inc. will do one of the following-with the decision of A,B or C no later than 4 days business days of effective date of this contract:
 - a. Reduce Price of home by \$500.00
 - b. Pay up to \$500.00 in closing costs for buyer
 - c. Pay for up to \$500.00 in allowance overages for buyer

Note: If The Maine Real Estate Network is representing the Buyer, Loni Graiver hereby appoints Raylene Estabrook to act as Designated Broker for this transaction. Loni Graiver is owner of The Maine Real Estate Network, Graiver Homes and Cumberland County Mortgage
3. **Vents:** Continuous running vented fans required in all upstairs bathrooms, provided by builder.
4. **Smoke/CO2 Detectors:** to be installed, per code, by builder.
5. **Exterior Doors, Jams and Decking/Columns.** Builder is not responsible for painting any exterior items including but not limited to doors, jams, railings and columns.
6. **Dehumidifiers:** Relative Humidity in the basement of a new home should be 50% or less. All new homes contain moisture as the foundation cures, but also the ground contains water as well that can be absorbed into the foundation causing additional moisture. The builder highly recommends the buyer install a dehumidifier and it should run consistently to reduce basement moisture regardless of time of year. It is suggested that it could require two dehumidifiers to run up to

two years to fully cure the basement and achieve the desired humidity levels. Maintaining the humidity levels in the basement is fully the responsibility of the buyer. Builder is not responsible for any future basement moisture.

7. **Access to property:** Buyers shall not enter property without representation of their broker. Builder or builder's agent **MUST** be notified prior to entry. This includes dropping off materials to the home.
8. **Mirrors for bathrooms:** NOT included (Builder will install at an additional cost of \$65.00 per hour. Buyer(s) shall purchase and deliver clearly marked items to the property, upon builder's request.) Builder will install per their discretion
9. **Toilet paper holders/and towel Holders:** NOT included. (Builder will install at an additional cost of \$65.00 per hour. Buyer(s) shall purchase and deliver clearly marked items to the property upon builder's request.) Builder to determine location for installation.
10. **Builder disclaimer:** Builder specifically disclaims any liability for incidental or consequential damage to any person, the building, other components or any other real property resulting from a defect. Some states do not allow the exclusion or limitation of incidental or consequential damages for consumer products, so the above limitations or exclusion may not apply to you.
11. **Receipt of Documents:** Buyer hereby acknowledges receipt of subdivision plan, bylaws and/or association covenants, real estate disclosures, house plans, and copy of the deed
12. **House Number:** Builder to provide house number and determine location.
13. **Stairways:** Buyer shall have this option to have handrail on main stairway either stained to match 1st floor flooring the best of builder's ability or painted white. Builder has a right to charge additional funds for dark stained handrails and any necessary stair parts. Basement stairs will be plywood treads and risers with an unfinished handrail. Unfinished. 3rd floor steps (if applicable) will be plywood treads and risers with an unfinished handrail.
14. **Change Orders:** Any alteration or deviations from the plans and specifications will be effective only with a written change order approved by both parties detailing all changes to the scope of the work. Builder will submit a written change order and price to buyer and buyer **MUST** approve change order within 24 hours of receipt. At the option of builder if there is no change order signed by both parties, within the 24 hours, then specifications remain unchanged. Builder may require an additional deposit and/or extend the time to complete work for any change order. Builder has a right to refuse ANY change order.
15. **Excavation:** Digging for foundations will be done to a depth as required for installation of footings on undisturbed soil (Min 48 Inches below grade). Back fill in basement below slab with ¾ inch crushed stone to the depth of the footings. Garage slab shall be back filled with sand and compacted. Back fill exterior of foundations with sand in order to improve drainage away from house. Finish grades will allow for natural drainage away from home. Builder shall loam and seed disturbed areas within 25' foot radius of the home. Seed shall be contractor mix.

Adequate watering and proper care of the lawn is the responsibility of the buyer. Lot will be stumped to as needed for construction of the building. The Exterior of the foundation in basement areas will be coated with a waterproofing product. Builder strongly encourages buyer to install a sump-pump system in basement and shall be held harmless for any future water in the basement that could have been removed with a sump-pump system. Builder to determine the best most cost effective placement of home. If builder must blast or hammer ledge buyer agrees to pay the cost of blasting and/or hammering.

16. **Limited Warranty:** A one years (1) limited warranty is included in this contract for defects in the work furnished by builder. At the end of the warranty year, Customer must supply a clearly typed list to contractor stating any items under warranty that are in need of repair, adjustment, or replacement. Contractor has 30 days, or otherwise agreed upon time, to complete list. Emergency situations, such as heating, water, leaks or electrical, will warrant immediate attention prior to the year-end warranty. Customer should notify Contractor in writing within the 1 year warranty period. If you do not notify us of the defect within the 1 year of receiving the certificate of occupancy, your problem will no longer be covered by this warranty or any implied warranty. Warranty is not transferable. Buyer must notify builder in writing within the warranty period. In addition to any additional warranties agreed to by the parties, builder warrants that the work will be free from faulty materials, constructed according to the standards of the building code applicable for this location, constructed in a skillful manner and fit for the habitation or appropriate use. The warranty rights set forth in the Maine uniform commercial code apply to this contract. This warranty excludes: Normal movement of wood, shrinkage, expansion, warping, normal sheetrock stress cracks, natural characteristics of wood (including floors), paint smudges, chipping, popping of nails, normal settlement or expansion, shrinkage or warping of materials that occur, or the lawn and driveway quality, damage due to ordinary wear and tear, abusive use, or lack of proper maintenance of the property, defects in items separately purchased or installed by buyer or anyone else except by builder. The builder does not warrant conditions of hardwood floors due to shrinkage or expansion. Any hardwood warranties provided by distributor will be null and void if buyer has failed to run a dehumidifier year round in basement of the home. Builder is not responsible for allergies, asthma or other respiratory ailments affected by newly constructed homes. Builder is not responsible for mold. Builder is not responsible for cracks in the foundation, floors or walls. Builder is not responsible for leaks due to snow covered roofs which are not shoveled or frozen pipes due to buyer's failure to maintain adequate heat. The builder warranties do not cover normal maintenance or conditions resulting from accidents, wear and tear, misuse or negligence of buyer or other persons. If buyer does not notify the builder in writing of defective work within the earlier of one year (1) of issuance of certificate of occupancy, buyer's problem will no longer be covered by this warranty or any other express or implied warranty. This warranty is not transferable. **Buyer shall supply builder with a proposed punch list two days prior to closing and clearly blue tape or provide mobile pictures of any imperfections. Builder or Builder's Real Estate agent will do a walk through with buyer immediately prior to closing to create a mutually agreed upon punch list.** Buyer is responsible for maintaining home's air quality post-closing. All agreeable punch list items to be completed within 14 days of written notice.

17. **Scope of work:** Builder shall provide all labor, materials, equipment, and subcontractors necessary for completion of the work, except otherwise stated. Buyers are not permitted to supply their own labor, materials or subcontractors.
18. **Temporary power:** Builder shall provide temporary power during construction of project.
19. **Temporary heat:** Builder shall provide temporary heat for the construction of this project if necessary. Gas in tanks however, shall be pro-rated at closing unless otherwise agreed to on standard purchase agreement.
20. **Supervision:** Builder shall provide project supervision for their workers and subcontractors during construction period.
21. **Permits/fees:** Builder is responsible for all permits directly related to house construction.
22. **Photography:** Builder reserves the right to photograph the home for future marketing purposes. Also, builder reserves the right to show property to prospective buyers of other properties during construction period until closing date.
23. **Certified funds:** Buyer agrees to have their title company provide builder/seller with certified funds at closing or wire funds into an account provided by builder. This clause shall take precedence over any language in standard Maine Association of Realtors Purchase and Sales Contract.
24. **Seller is licensed real estate broker in the State of Maine and owner of The Maine Real Estate network**
25. **Mail box:** Cluster mailbox units
26. **Side Deals with Workers:** Buyer shall not pay any subcontractors to do any side work on this property.
27. **Construction Disputes:** Should any CONSTRUCTION related dispute arise between buyer and builder as parties to this contract, such dispute shall be settled through arbitration by either the American Arbitration Association or National Academy of Conciliators. The decision of the Arbitrators shall be final and binding. Should either party hire a lawyer before exhausting the arbitration process, the party hiring the lawyer, agrees to be fully responsible for their own attorney costs.
28. **Builder is not responsible for future leaks in home due to Ice Damns on home.** Builder is not responsible for installing sump pumps. Buyer is encouraged to install sump pump if necessary post- closing. Builder shall not be liable for any water in basement as a result of buyer failure to install sump pump. Builder is not responsible for condensation in basement and suggests buyers should always have a dehumidifier in basement.
29. **Cleaning of Home:** Builder will attempt do an initial cleaning of home prior to appraisal, when construction permits. A final cleaning prior to closing with a cleaning company of builder's choice. Builder is not responsible for foot traffic mess after the final cleaning.

- 30. Builder is not responsible for the condition of wood flooring chosen by buyer.**
- 31. Buyer is responsible for final hook up of telephone, cable and/or other source. Buyer is responsible to change all utility accounts over to buyers name as of the closing date.** Buyer agrees to pay any and all utility bills due to the failure of buyer switching over at the time of closing. This includes but not limited Electricity and Natural Gas.
- 32. Allowances: (IF APPLICABLE)** It is important to choose allowance items in a timely manner in order to stay on schedule. All applicable state taxes need to be considered and calculated within your given allowance. Overages shall be added to your final bill. Credits will not be given for allowances that are under. However, one allowance that is under (Example Flooring) could be credited to another allowance (Example lighting) Builder may require additional deposits at any time during construction for extras and change orders. Buyer will be credited for lighting on their final invoice accounting at closing. Builder to provide buyer an accounting of final invoice within 12 hours prior to closing. Fuel proration will not be included on final invoice and will be collected at closing.
- 33. Dryer hookup shall be natural gas.** Builder is not responsible for the installation of washers and dryers.
- 34. Range hookup shall be natural gas.**
- 35. Closets:** All closets painted white: Builder to determine the best location and installation of all shelving. Builder will intend to install the following shelving, where space permits, however shelving may vary.

Bedroom closets	Single 12 Free Slide shelf and rod. (If 2 Walls 1 double hang and 1 single hang
Linen closets	1 – 16 inch Linen shelf 4 – 20 inch shelves
Laundry	1 Single 12 free slide shelf and rod, 1 – 36 inch tight mesh shelf below.
Pantry	1 12 inch tight mesh shelf, 4 – 16 inch tight mesh shelves
- 36. Punch list items, radon and water results:** Buyer to obtain water test at own expense as soon as construction permits. Should water not be “Potable” Seller agrees to install required water filtration system. Buyer to pay for retest and provide results as soon as possible to seller in order to obtain occupancy permit in timely manner. Builder to install a radon mitigation system. Seller agrees to remedy all reasonable punch list items requested by buyer. Should seller and buyer not agree on what is reasonable, brokers involved in transaction shall select a mutually agreeable builder to determine such. All agreeable punch list items to be completed within 14 days of written notice.
- 37. “Time is of the essence for all of buyers dates on the purchase and sales agreement.**

- 38.** Buyer takes full responsibility and holds seller harmless for grass growth and erosion of property. Buyer is encouraged to water twice per day, early AM and PM entire yard. Buyer is also encouraged to hire a landscape company post-closing to get the best grass and yard possible.

39. Carpentry:

Floor Joists:	2x10 16" O.C. First and Second Floor
Floor Sheathing:	Sub-Floor shall be 3/4 inch Advantech
Underlayment:	1/2 " plywood for all tile
Girders/Headers:	Build up #2 SPF wood or laminated Veneer Lumber size as required by local code
Bridging:	1'x3" Wood cross bridging, install 1 row for spans over 8'.
Wall Studs:	2"x6" 16 O.C Ext. Walls 2'x4" 16 O.C Int. Walls. 2'x6" 16 O.C. Garage Walls.
Blocking:	Install #2 SPF Solid nailers for all cabinets and casework
Wall Sheathing:	7/16" OSB sheathing nailed 6" O.C
Roof Rafters:	2'x10" 16 O.C.
Roof Sheathing:	1/2" 5 ply CDX plywood nailed 6" O.C
Ceiling Strapping:	1x3 16" O.C wood strapping. Apply to ceilings that will receive drywall
Ceiling Joists:	2"x6" 16 O.C
Ceiling heights:	As per plans (height may vary within 1 1/2 inch).

Home Construction & Repair: Maine Attorney General Home Construction Warning.

Contractors Must Include This Statement with Any Home Construction Contract for More Than \$3,000.

If you are thinking about building a new home or repairing your existing home, here are some things you should know.

Contractors Are Not Licensed - Buyer Beware!

While there are a great many competent, ethical home contractors in Maine, it is up to *you*, the consumer, to find one. Home contractors are not licensed or regulated by the State of Maine. The old saying "Buyer Beware" applies. You should also keep in mind that the lack of state licensing allows the worst contractors to compete for your business alongside the best. The Attorney General's Consumer Mediation Program ranks home contractors among the top three most complained about businesses every year.

Although home construction contractors are not licensed, some building trades are licensed. Architects, engineers, plumbers, electricians, oil burner technicians, manufacturers, dealers and installers of mobile and modular homes are licensed in Maine. For more information on these licensed trades, go to www.maine.gov/pfr/pfrhome.htm.

When hiring a contractor, we recommend that you:

- Seek referrals and keep good notes. The best source of references may be:
 - friends
 - co-workers
 - independent trade contractors
 - engineers
 - family
 - building material suppliers
 - neighbors
 - architects
 - home inspectors
 - local lenders
 - banks
 - contractor's existing customers
- When meeting with a builder, be sure to ask for:
 - Number of years in business
 - Permanent business location
 - Proof of general liability insurance
 - Professional affiliations
 - Educational designations
 - List of last 5 customers
 - Proof of workers' compensation insurance for employees and liability insurance

We *strongly* recommend that you ask any contractor you are considering hiring for several references and that you follow up on them.

Building Codes

While some towns and cities have adopted building codes and enforced them, others have not. We recommend that you talk to your town's code officials before you begin construction.

Written Contracts Are Required

For all home construction and home improvement projects over \$3,000, Maine law requires a written contract with a specific provision that prohibits payment up front of more than one third of the contract price. When a contractor asks you for any money up front, make sure that the money is being used to purchase materials for your project. Ask for receipts and for a lien waiver from subcontractors. A model home construction contract that meets State law can be found in [Chapter 18 of the Maine Attorney General's Consumer Law Guide](#).

Be Careful with Construction Loans

If a lender is financing your construction project, make sure that you know your lender and that you understand how your loan proceeds will be disbursed and how subcontractors will be paid.

Home Contractor Complaints Received by the Attorney General

You can find out if a particular contractor has been the subject of a consumer complaint that the Attorney General attempted to mediate by contacting the Attorney General's Consumer Protection Division at 1-800-436-2131 or at consumer.mediation@maine.gov. Keep in mind that just because the Attorney General has accepted a complaint for mediation does not necessarily mean the consumer was right and the contractor was wrong.

Home Contractors the State Has Sued

In the recent past the State has successfully sued the following home contractors for poor workmanship or failure to complete jobs. The files below require the free [Adobe Reader](#).

- [State of Maine v. Maine Coast Log Homes, Timber Pine Construction, and Mark A. Holmes: Order Granting Judgment \(PDF\)](#)
- [State of Maine v. Maine Coast Log Homes, Timber Pine Construction, and Mark A. Holmes: Complaint \(PDF\)](#)
- [State of Maine v. CBS Enterprises \(PDF\)](#) (Kimberly Mark Smith and David J. Blais),
- [Default Judgment in CBS Enterprises \(PDF\)](#),
- [State of Maine v. Frederic Weinschenk \(PDF\)](#) d/b/a Ric Weinschenk Builders, Inc.,
- [State of Maine v. Stephen Lunt \(PDF\)](#) d/b/a Lakeview Builders, Inc.,
- [State of Maine v. Bob Burns \(PDF\)](#) d/b/a Better Homes,
- [State of Maine v. Albert H. Giandrea \(PDF\)](#) d/b/a AG's Home Quality Improvements, Inc.,
- [State of Maine v. Al Verdone \(PDF\)](#),
- [State of Maine v. Mikal W. Tuttle \(PDF\)](#), d/b/a MT Construction, DMI Industries, Inc., and MT Construction, Inc.
- [State of Maine v. Jeffrey C. Scott, d/b/a Molunkus Stream Construction \(PDF\)](#)

The Androscoggin County District Attorney has obtained theft convictions against home contractors Harold Soper ([State of Maine v. Harold Soper \(PDF\)](#)) and Mikel Tuttle ([State](#)

[of Maine v. Mikel W. Tuttle \(PDF\)](#)). Even when our law suits have been successful, we have been unable to collect a significant portion of the judgments because the builders are bankrupt, judgment proof, or have left the state. We strongly recommend that you research a contractor's record before you begin any construction project.

Your Home Construction Rights

[Chapter 17 of the Maine Attorney General's Consumer Law Guide](#) explains your rights when constructing or repairing your home. [Chapter 18 of the Consumer Law Guide](#) is a model home construction contract that meets the statutory requirements for any home construction contract over \$3,000.

As of September 1, 2006 this entire statement must be an addendum to any home construction contract for more than \$3,000, as required by 10 M.R.S.A. Chapter 219-A. For updates to this warning go to <http://www.maine.gov/ag/>.

[Download a printable PDF file of the Maine Attorney General Home Construction Warning \(PDF\)](#). This file requires the free [Adobe Reader](#).

Note: Each page to be initialed and the bottom of the page

NOTE: Upon signing this New Construction Specification Sheet Addendum to Purchase and Sales Contract, buyer hereby agrees that NO changes are to be made to the said plans unless marked up and agreed to by both buyer and builder. Any changes to plans are to be signed and initialed at the time of signing this agreement. (See attached approved plan).

Any request for a change order of the plan after the signing of this agreement is subject to a \$500 charge in addition to material and labor costs, to be paid upon written approval of said request. Builder must approve any change requests in writing and has the right to deny any request.

_____	_____	_____	_____
Witness	Date	Purchaser	Date
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	Date
Witness	Date	Seller	