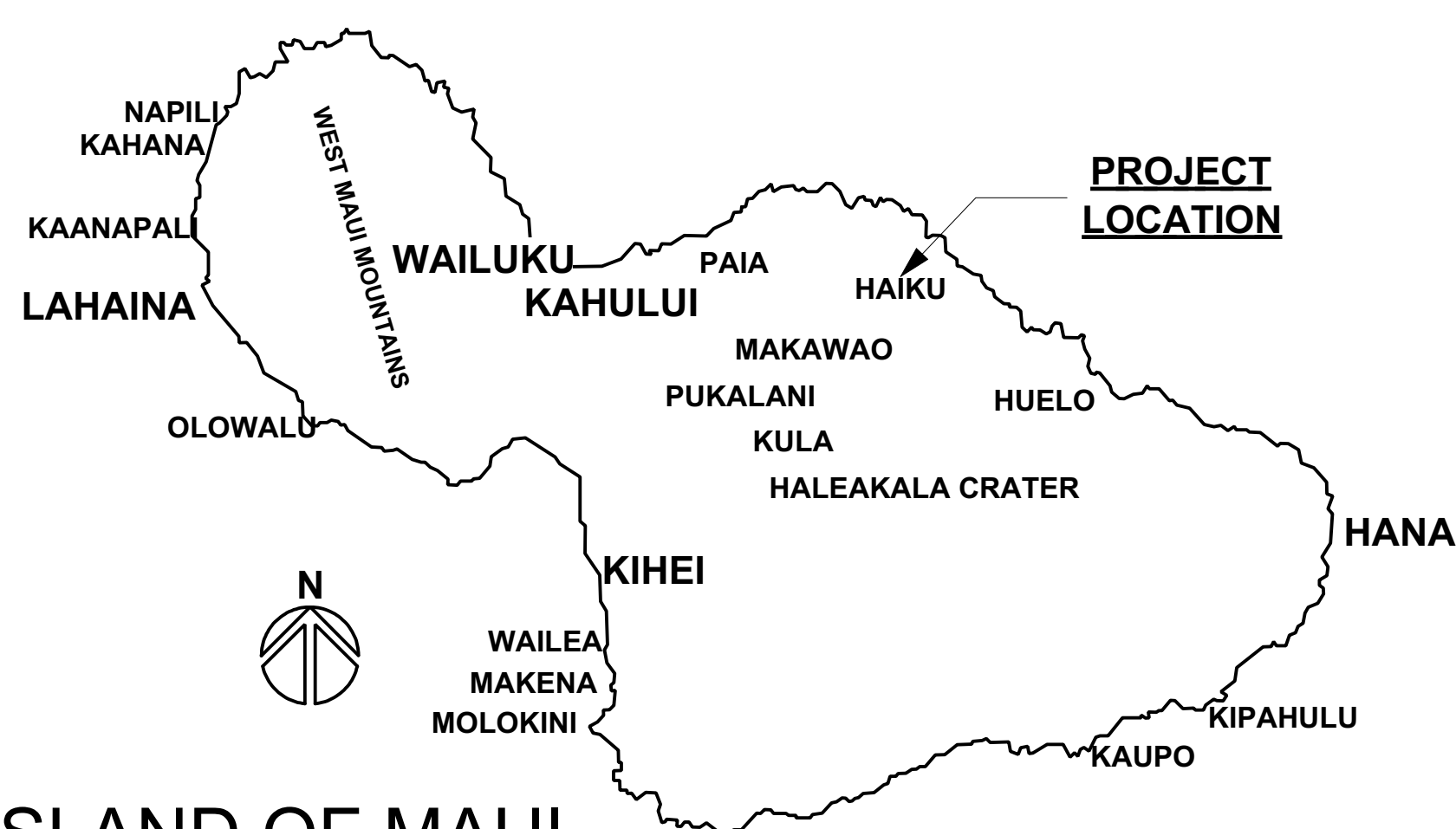
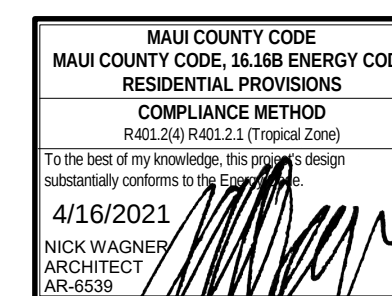
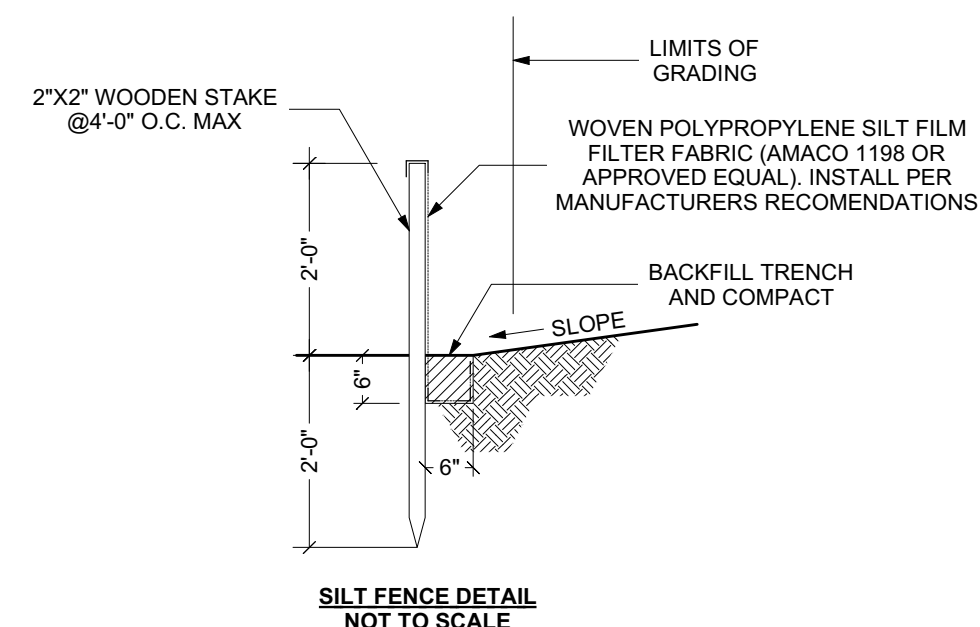


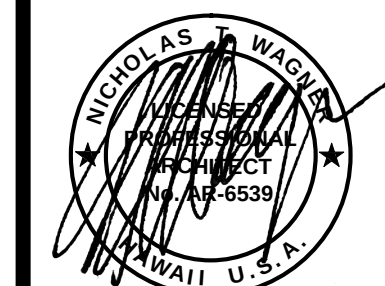


ISLAND OF MAUI

- MINIMUM BMP CHECKLIST FOR SMALL PROJECTS**
- ☐ **STABILIZED CONSTRUCTION ENTRANCE:**
ALL POINTS OF EGRESS AND INGRESS TO A SITE SHALL BE PROTECTED WITH A STABILIZED CONSTRUCTION ENTRANCE.
- ☐ **STOCKPILES:**
STOCKPILES SHALL NOT BE LOCATED IN DRAINAGE WAYS OR OTHER AREAS OF CONCENTRATED FLOWS. SEDIMENT TRAPPING DEVICES SUCH AS FENCES, TRAPS, BASINS OR BARRIERS SHALL BE USED AROUND THE BASE OF ALL STOCK PILES.
- ☐ **DUST CONTROL:**
DUST CONTROL SHOULD BE APPLIED TO REDUCE DUST EMISSIONS. THE CONTRACTOR, AT HIS OWN EXPENSE, SHALL KEEP THE PROJECT AREA AND SURROUNDING AREA FREE FROM DUST NUISANCE. THE WORK SHALL BE IN CONFORMANCE WITH THE AIR POLLUTION CONTROL SATANDARDS CONTAINED IN HAWAII ADMINISTRATIVE RULES, CHAPTER 11-60, "AIR POLLUTION CONTROL".
- ☐ **SEDIMENT BARRIERS AND TRAPS:**
SEDIMENT TRAPPING DEVICES SUCH AS FENCES, TRAPS, BASINS OR BARRIERS SHALL BE USED DOWN SLOPE OF ALL DISTURBED AREAS AND AROUND THE BASE OF ALL MATERIAL STOCKPILES.
- ☐ **SLOPE PROTECTION:**
SURFACE FLOW FROM ABOVE AN EXPOSED SLOPE SHALL NOT BE ALLOWED TO FLOW OVER THE SLOPE WITHOUT PROTECTION. SLOPE PROTECTION SHALL BE USED ON AREAS WITH SLOPE GREATER THAN 50% AND ON AREAS OF MODERATE SLOPES THAT ARE PRONE TO EROSION.
- ☐ **INLET PROTECTION:**
ALL STORM DRAIN INLETS ON SITE, AND THOSE OFFSITE WHICH MAY RECEIVE RUNOFF FROM THE SITE SHALL USE AN INLET PROTECTION DEVICE.
- ☐ **TEMPORARY STABILIZATION:**
IS NOT REQUIRED WHEN THE DISTURBED AREA WILL BE WORKED WITHIN A 14 DAY PERIOD. STABILIZATION IS REQUIRED FOR DISTURBED AREAS AT FINAL GRADE AND FOR THOSE AREAS THAT WILL NOT BE WORKED WITHIN A 14 DAY PERIOD.
- ☐ **PERMANENT STABILIZATION:**
ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED PRIOR TO REMOVING EROSION AND SEDIMENT MEASURES. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE PLAN STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. TRAPPED SEDIMENT AND AREAS OF DISTURBED SOIL, WHICH RESULT FROM THE REMOVAL OF THE TEMPORARY MEASURES SHALL BE IMMEDIATELY PERMANENTLY



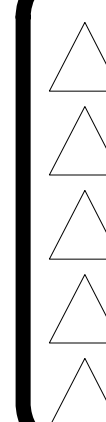
NICHOLAS T. WAGNER
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i Ar ch itec t LLC
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H.A.R. 16-115-9
EXPIRATION DATE OF LICENSE
4/30/2022

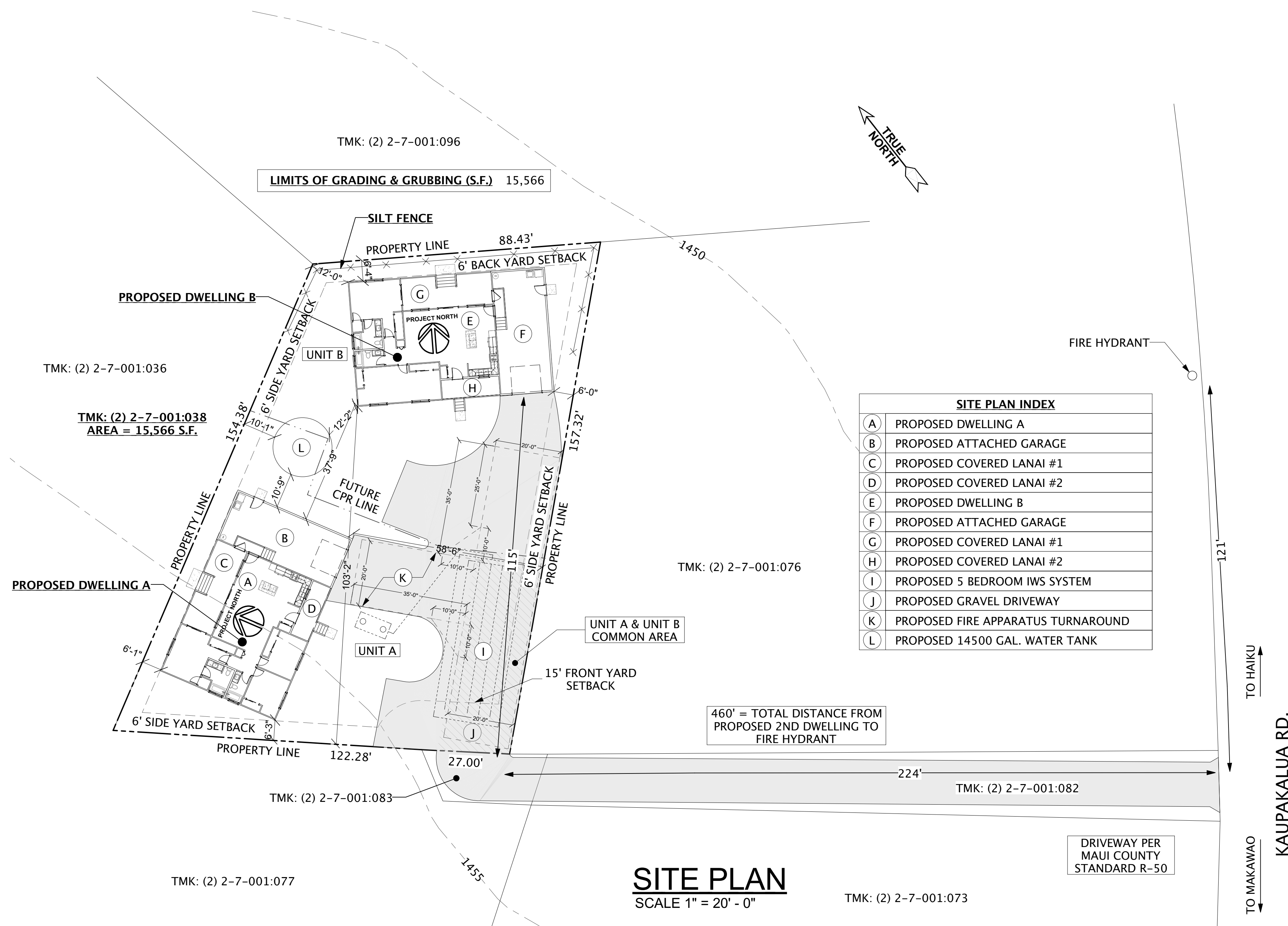
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MIKE BERRIGAN
2728 KAUPAKALUA RD. HAIKU, HI.
TMK: (2) 2-7-001:038

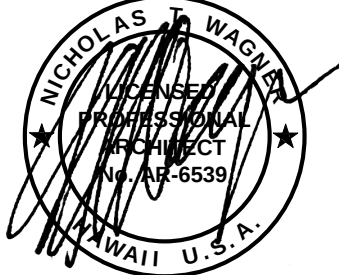
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DRAWN BY KAI GRISSOM
CHECKED BY JESSE BROWN
DATE 04-16-21
SHEET

T-1

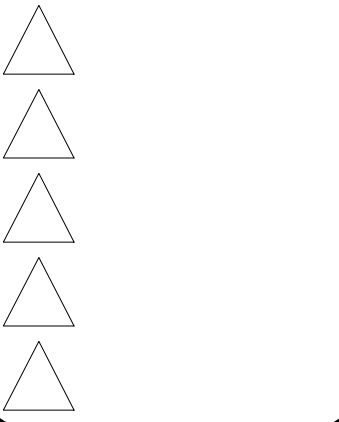




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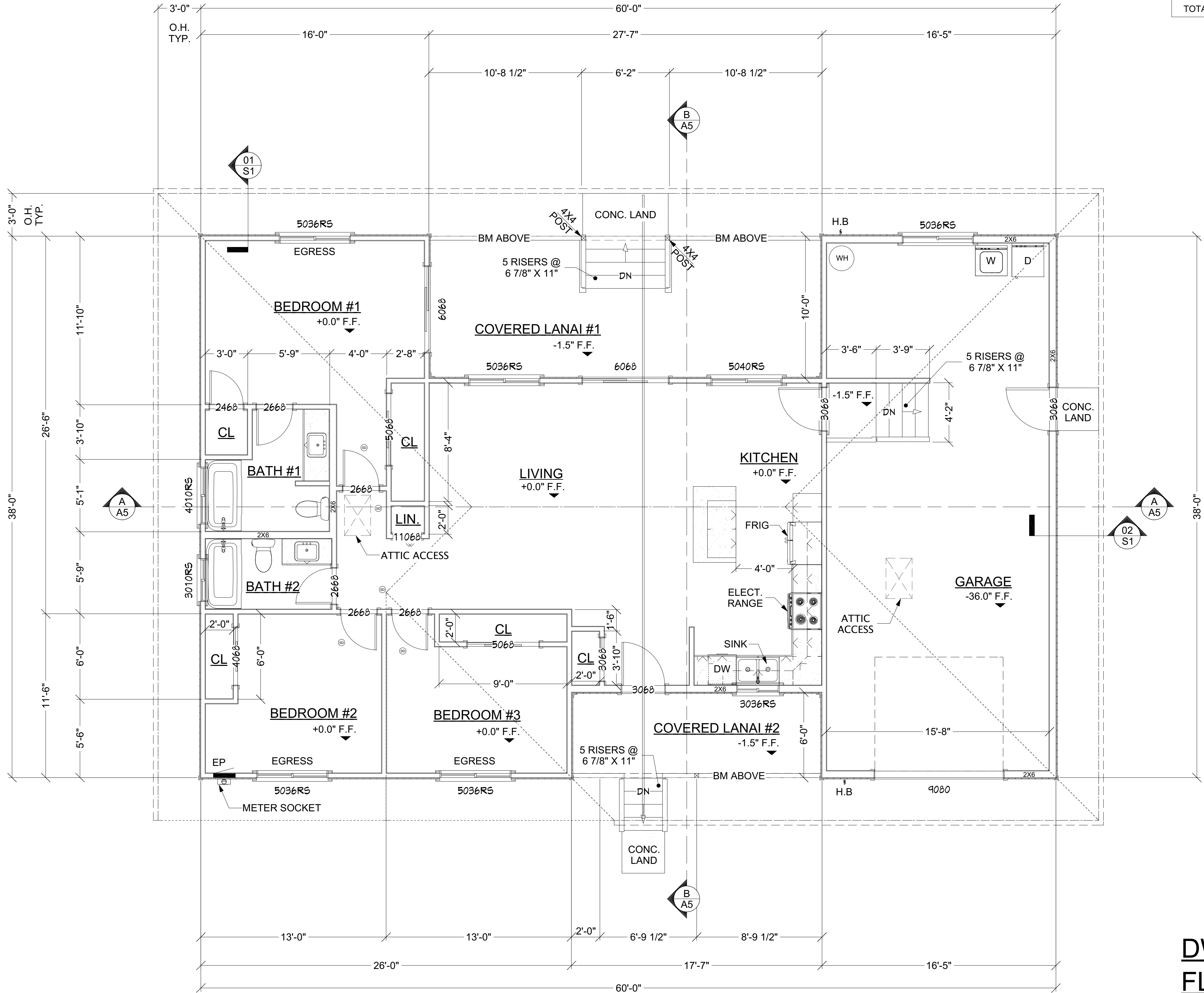


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DATE
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SHEET
A-1

PROPOSED DWELLING

ENCLOSED LIVING	1275 S.F.
GARAGE	624 S.F.
COVERED LANAI #1	276 S.F.
COVERED LANAI #2	105 S.F.

TOTAL AREA 2280 S.F.

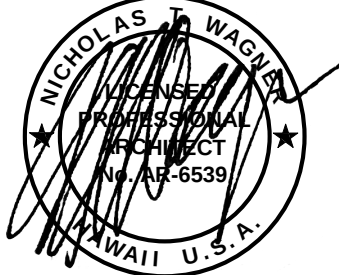


SEE NOTES ON PG A-6

- 2.8 CRAWL SPACES
- 2.11 ATTIC ACCESS
- 2.12 GUARDS
- 2.13 HANDRAILS
- 2.14 STAIRWAYS
- 2.21 GARAGE
- 3. WINDOW REQUIREMENTS

DWELLING A
FLOOR PLAN

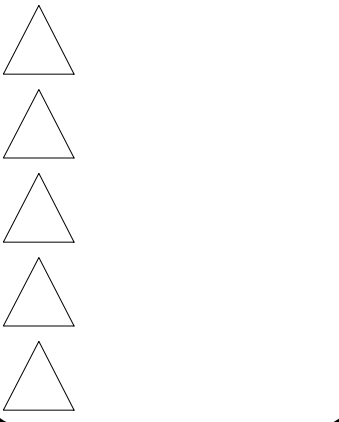
SCALE 1/4" = 1' - 0"



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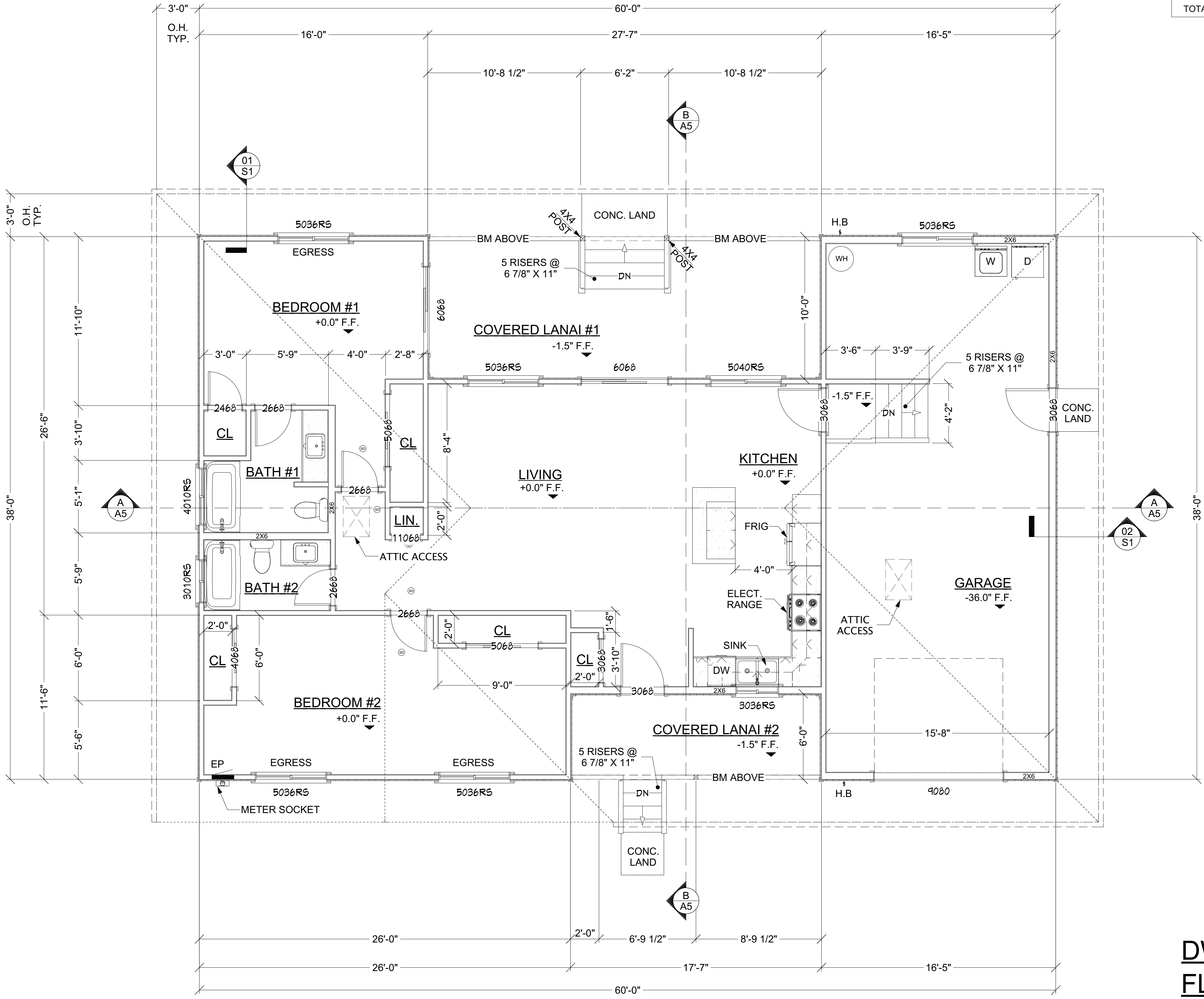
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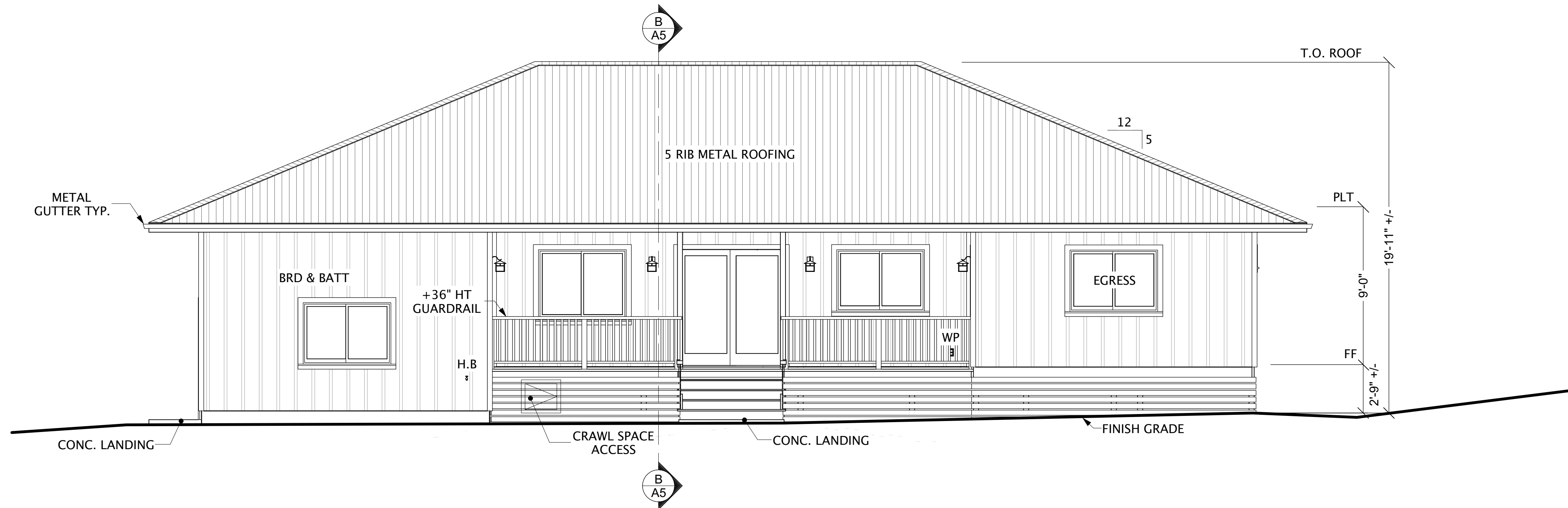
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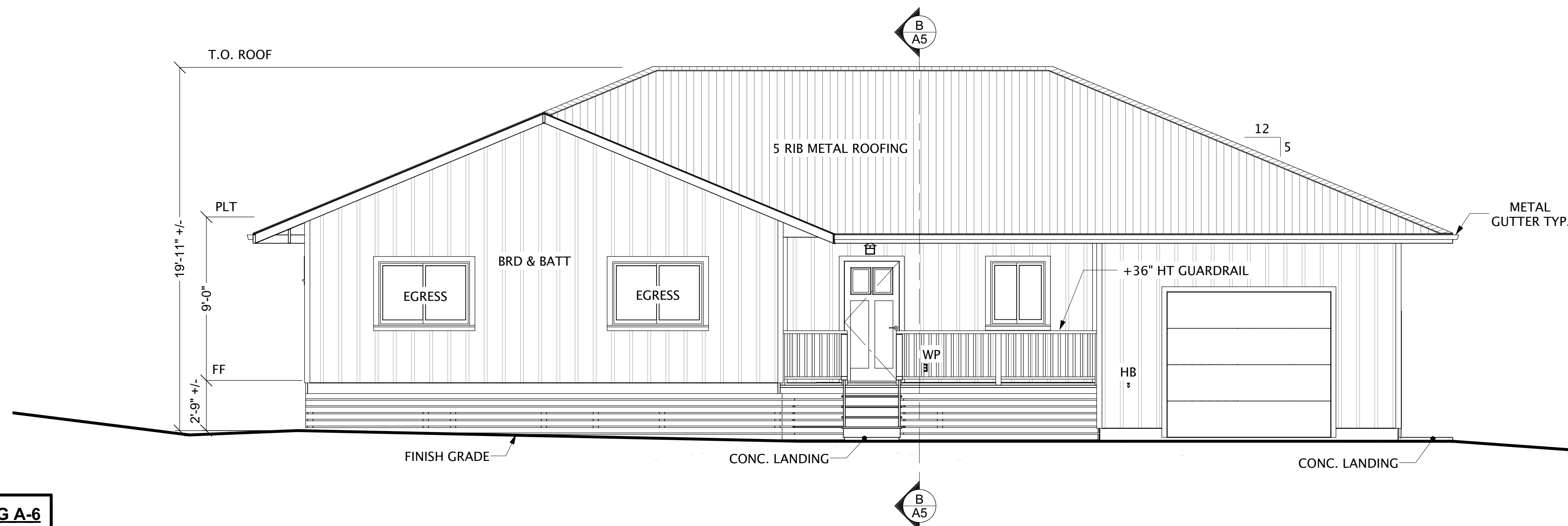
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- 2.11 ATTIC ACCESS
- 2.12 GUARDS
- 2.13 HANDRAILS
- 2.14 STAIRWAYS
- 2.21 GARAGE
- 3. WINDOW REQUIREMENTS

DWELLING B
FLOOR PLAN
SCALE 1/4" = 1' - 0"



DWELLING A & B
NORTH ELEVATION
SCALE 1/4" = 1' - 0"

Hawaii Revised Statutes § 196-6.5
A solar water heater system is required
for all new single-family dwellings.
A heat-pump is allowed with approved
variance request from the State
Energy Resources Coordinator.



DWELLING A & B
SOUTH ELEVATION
SCALE 1/4" = 1' - 0"

SEE NOTES ON PG A-6

- 2.8 CRAWL SPACES
- 2.11 ATTIC ACCESS
- 2.12 GUARDS
- 2.13 HANDRAILS
- 2.14 STAIRWAYS
- 2.21 GARAGE
- 3. WINDOW REQUIREMENTS

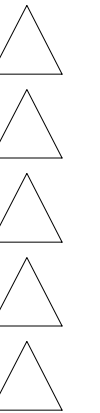
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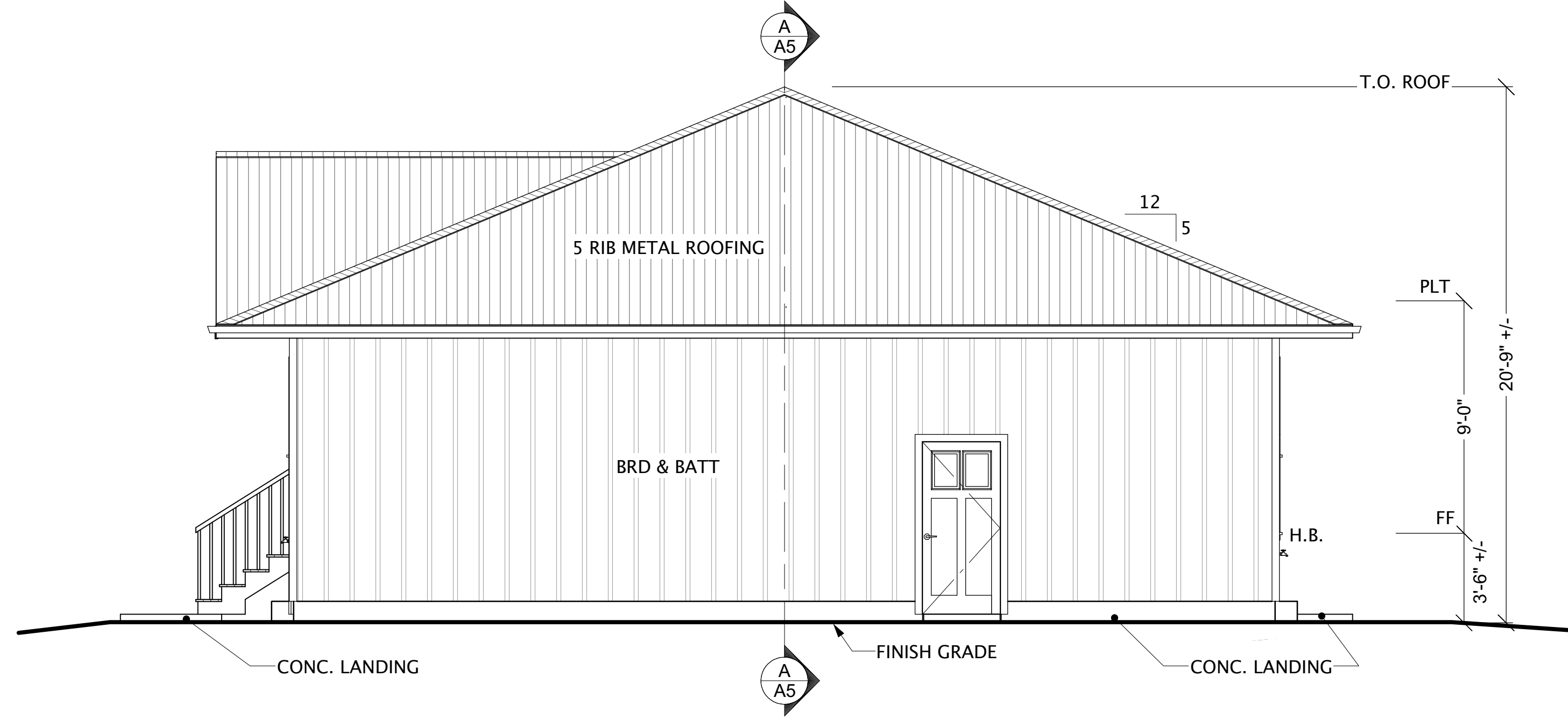


JESSEBROWN@GMAIL.COM
PHONE: 808 281 6302

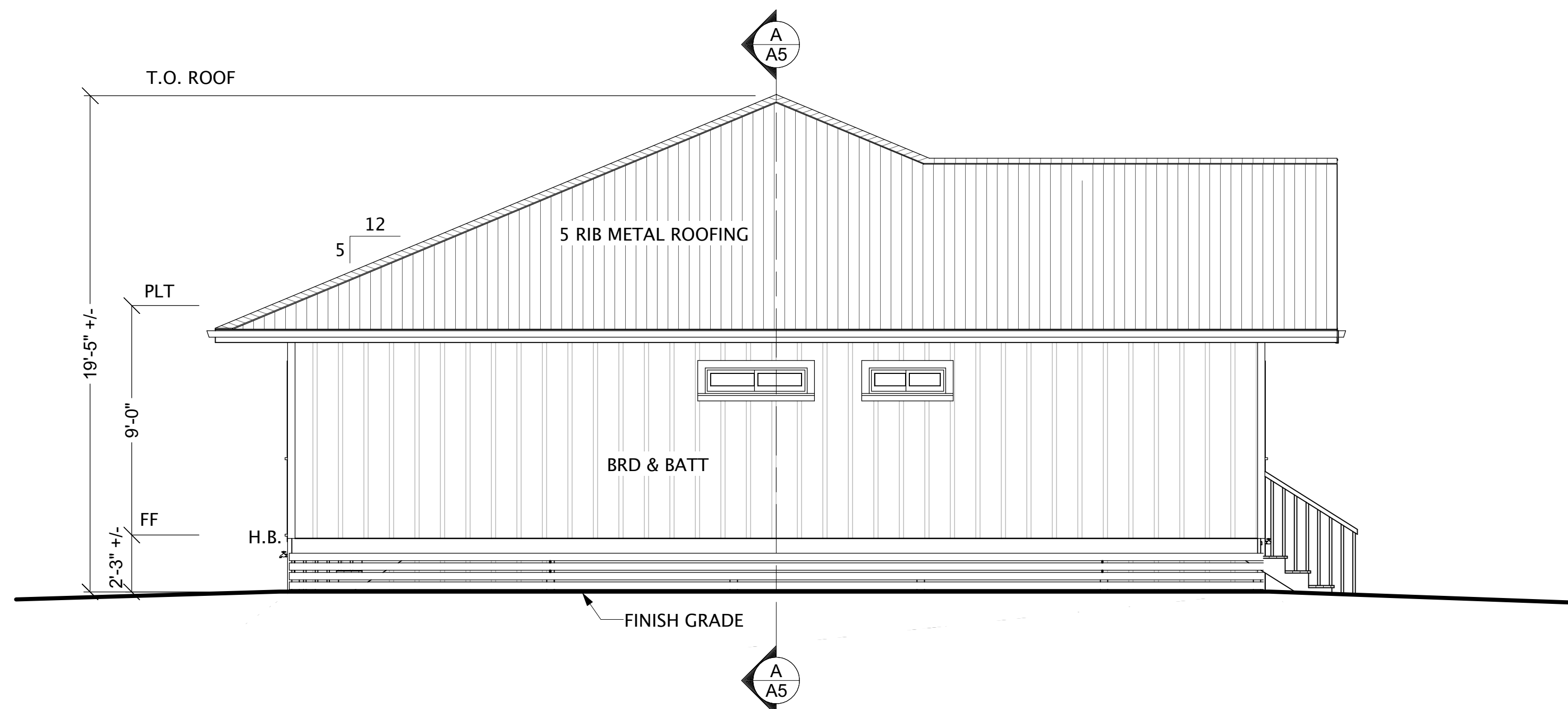
PACIFIC
FRAMEWORKS LLC
DRAFTING SERVICES

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JESSE BROWN
DATE
04-16-21
SHEET

A-3



DWELLING A & B
EAST ELEVATION
SCALE 1/4" = 1' - 0"



DWELLING A & B
WEST ELEVATION
SCALE 1/4" = 1' - 0"

SEE NOTES ON PG A-6

- 2.8 CRAWL SPACES
- 2.11 ATTIC ACCESS
- 2.12 GUARDS
- 2.13 HANDRAILS
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- 2.21 GARAGE
- 3. WINDOW REQUIREMENTS

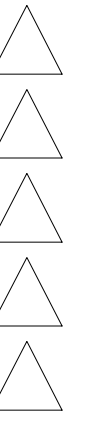
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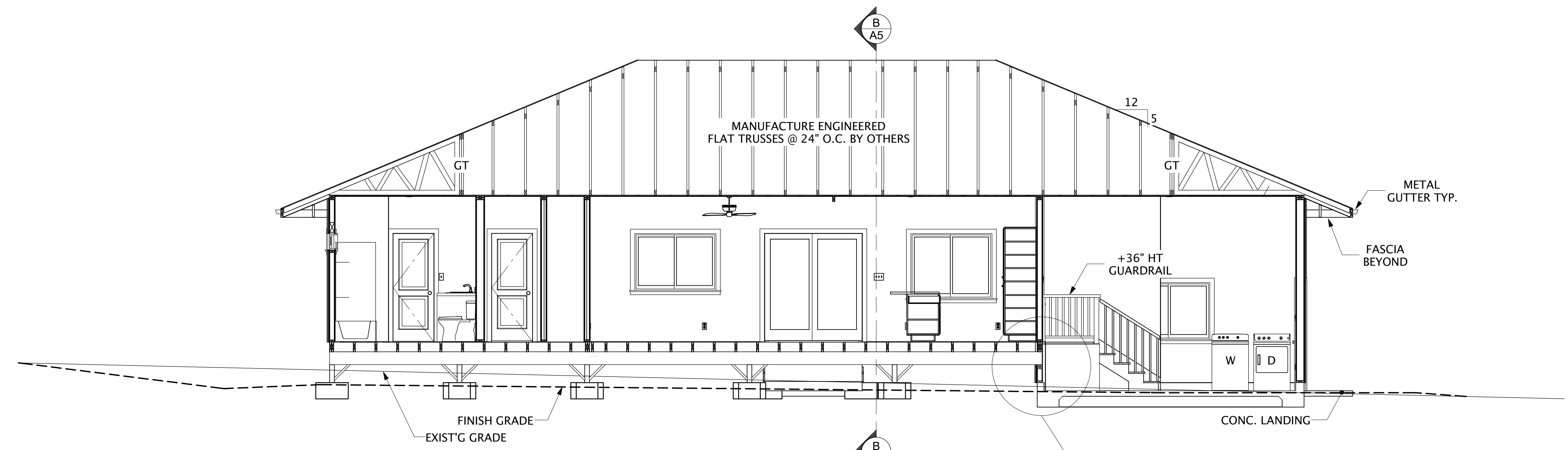


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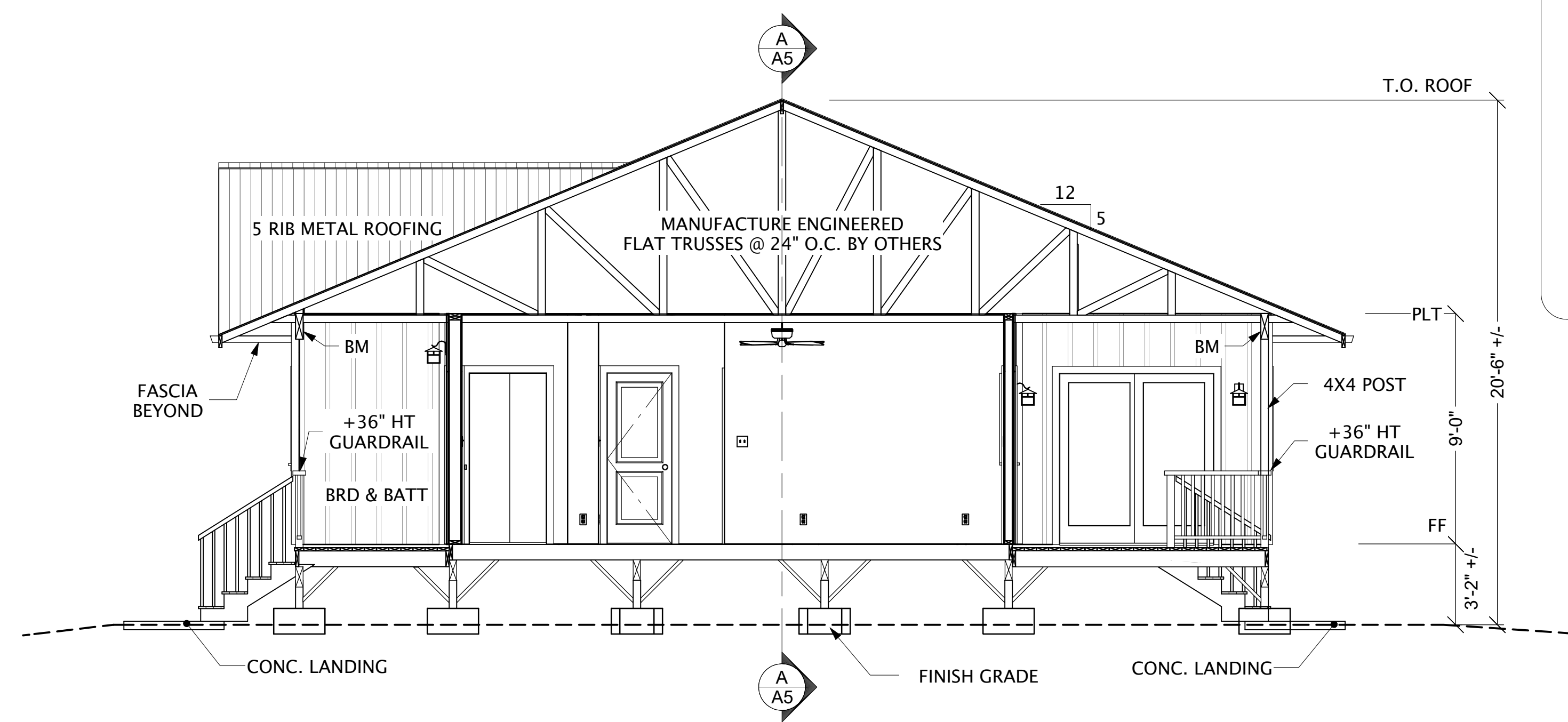
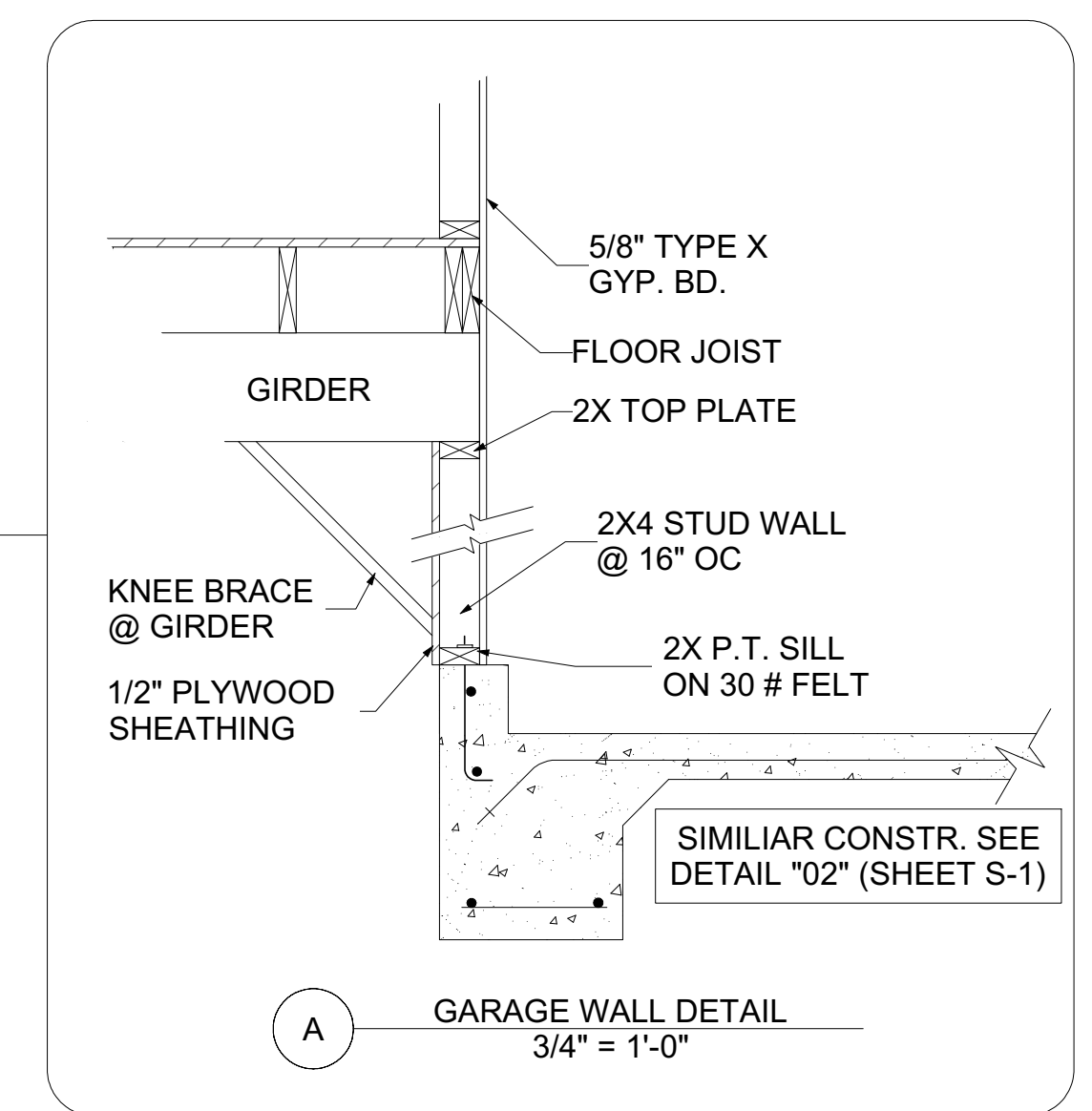


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A-4



A DWELLING A & B CROSS SECTION
SCALE 1/4" = 1'-0"



B DWELLING A & B CROSS SECTION
SCALE 1/4" = 1'-0"

SEE NOTES ON PG A-6

2.8 CRAWL SPACES
2.11 ATTIC ACCESS
2.12 GUARDS
2.13 HANDRAILS
2.14 STAIRWAYS
2.21 GARAGE
3. WINDOW REQUIREMENTS

1 – GENERAL NOTES:

1.1 WHEN REQUIRED BY H.A.R. 16-115-9, CONTRACTOR TO NOTIFY ARCHITECT TO OBSERVE THE PROGRESS AND QUALITY OF THE EXECUTED WORK. CONTRACTOR SHALL REQUEST SUCH VISITS IN WRITING AND PROVIDE ARCHITECT WITH THE CURRENT DETAILED CONSTRUCTION SCHEDULE SO THAT SUCH VISITS CAN BE SCHEDULED.

1.2 OBSERVATION VISITS TO THE SITE BY ARCHITECT OR ARCHITECT'S FIELD REPRESENTATIVES SHALL NOT BE CONSTRUED AS AN INSPECTION NOR APPROVAL OF CONSTRUCTION OR ITS COMPLIANCE WITH ARCHITECTURAL DRAWINGS.

1.3 ARCHITECT IS NOT RESPONSIBLE FOR ANY WORK NOT ON OWNER'S PRIVATE PROPERTY (E.G. UTILITIES, DRIVEWAY APRONS, ETC.). THIS PROJECT IS INTENDED FOR THE OWNERS PRIVATE USE AND NOT FOR PUBLIC USE.

1.4 THESE CONSTRUCTION DOCUMENTS ARE CONSIDERED A "BUILDER'S SET" AND DESIGNED FOR BUILDING PERMIT APPLICATION AND USED ONLY BY EXPERIENCED, PROFESSIONAL CONTRACTORS.

1.5 THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

1.6 ALL OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWING AND/OR THE SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK INVOLVED.

1.7 THE ARCHITECT DOES NOT GUARANTEE NOR IS ARCHITECT RESPONSIBLE FOR THE PERFORMANCE OR LACK THEREOF OF, FOR THE ACTS OR OMISSIONS OF ANY CONTRACTOR, SUBCONTRACTOR, SUPPLIER OR ANY OTHER PERSON OR ENTITY FURNISHING MATERIALS OR PERFORMING ANY WORK ON THE PROJECT.

1.8 ALL DETAILS, SECTIONS AND NOTES SHOWN ARE TYPICAL AND SHALL APPLY TO SIMILAR SITUATIONS UNLESS OTHERWISE NOTED. WALL CONSTRUCTION AND FASTENER SCHEDULE PER IRC.

1.9 THE CONTRACTOR SHALL IMMEDIATELY NOTIFY ARCHITECT OF ANY CONDITIONS WHICH MIGHT ENDANGER THE STABILITY OF THE STRUCTURE OR CAUSE VISIBLE DISTRESS IN THE STRUCTURE.

1.10 ALL WORK SHALL CONFORM TO THE BEST PRACTICES PREVAILING IN THE VARIOUS TRADES COMPRISING THE WORK.

1.11 CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUE SEQUENCES, SAFETY PRECAUTIONS AND PROCEDURES REQUIRED TO PERFORM THE WORK.

1.12 CONTRACTOR SHALL ENSURE PROPER PLACEMENT OF ALL OPENINGS, SLEEVES, CURBS, CONDUITS, BOLTS, INSERTS, ETC., PRIOR TO THE PLACEMENT OF CONCRETE.

1.13 CONTRACTOR SHALL PROVIDE ADEQUATE BRACING AND SHORING FOR ALL STRUCTURAL MEMBERS DURING ALL PHASES OF CONSTRUCTION.

1.14 ALL CONDITIONS OF POTENTIAL INSTABILITY OF EMBANKMENTS, CUT OR FILL SLOPES SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

1.15 VERIFY FRAMING (WHERE APPLICABLE) WITH A.C. AND PLUMBING CONTRACTORS TO INSURE PROPER INSTALLATION OF DUCTING AND PLUMBING.

1.16 DO NOT SCALE THE DRAWINGS.

1.17 ALL WALL DIMENSIONS ARE FACE OF STUD TO FACE OF STUD UNLESS OTHERWISE NOTED.

1.18 GRADES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL VERIFY ALL EXISTING ELEVATIONS PRIOR TO START OF WORK.

1.19 CONTRACTOR SHALL BE RESPONSIBLE TO PERFORM COORDINATION WITH STATE AND LOCAL AUTHORITIES AND UTILITIES.

1.20 CONTRACTOR SHALL PROVIDE TEMPORARY SANITARY TOILET FACILITIES THROUGHOUT THE CONSTRUCTION. CHEMICAL TOILETS SHALL BE OF AN APPROVED TYPE, AND SHALL BE SERVICED REGULARLY TO PREVENT CONTAMINATION OF THE AREA.

1.21 POOL AND SPA DESIGN BY OTHERS.

1.22 SITE DRAINAGE, LANDSCAPING AND IRRIGATION DESIGNS AND DETAILS BY OTHERS.

1.23 ALL 4X BEAMS OR LARGER TO BE NO. 1 OR BETTER DOUGLASS FIR LARCH. GLULAMS TO BE VISUALLY GRADED WESTERN SPECIES 24F-V4. NO. 2 OR BETTER DOUGLASS FIR LARCH FOR ALL 2X MATERIAL. PROVIDE AIR DRY ALL WOOD MATERIALS WITH A 18% MAXIMUM MOISTURE CONTENT.

1.24 ALL SOLID SAWN LUMBER TO BE TREATED.

1.25 CONTRACTOR SHALL PROVIDE ARCHITECT FOR REVIEW, ENGINEER CERTIFIED SHOP DRAWINGS OF ALL MANUFACTURED STRUCTURAL BUILDING SYSTEMS (I.E. ROOF TRUSSES, STRUCTURAL PANELS, BEAMS, METAL TO METAL CONNECTIONS AND METAL TO WOOD CONNECTIONS, ETC.), PRIOR TO START OF ANY CONSTRUCTION AND ORDERING MATERIALS. THESE PLANS SHOW DESIGN CONCEPT ONLY. ACTUAL DESIGN AND LAYOUT TO BE DETERMINED BY HAWAII LICENSED STRUCTURAL ENGINEER CONSULTING WITH SYSTEM MANUFACTURER.

1.26 DESIGN CRITERIA – LIVE LOADS:
ROOF PITCHES 4:12 AND GREATER : 16 PSF
ROOF PITCHES LESS THAN 4 : 12) 20 PSF
FLOORS : 40 PSF
WIND DESIGN : 110 MPR
EARTHQUAKE ZONE D1 FIGURE R301.2(2)

1.27 ASSUMED SOIL BEARING 2500 PSF – SOIL BEARING CAPACITY TO BE AS REQUIRED BY LOCAL AUTHORITY. LOCAL AUTHORITY TO DETERMINE ACCEPTABILITY OF FOOTINGS INSTALLED ON GROUND SURFACE.

1.28 THE ARCHITECT RECOMMENDS A GEOTECHNICAL INVESTIGATION IN ORDER TO DETERMINE THE SUBSURFACE CONDITIONS OF ANY PROJECT AND VERIFICATION OF FOUNDATION DESIGN CRITERIA. IN THE ABSENCE OF GEOTECHNICAL REPORT, CHANCES OF ENCOUNTERING UNFORESEEN UNSUITABLE SOIL CONDITIONS ARE GREATLY INCREASED. IT IS ARCHITECT'S UNDERSTANDING THAT THE OWNER IS ELECTING NOT TO PROVIDE A GEOTECHNICAL REPORT FOR THIS PROJECT. THEREFORE, PROVISIONS OF CHAPTER 4, 2006 IBC WILL BE MADE. THE OWNER AGREES TO HOLD HARMLESS THE ARCHITECT FROM AND AGAINST ALL CLAIMS, LOSSES, DAMAGES, LIABILITY AND COSTS CONNECTED WITH ADVERSE BUILDING PERFORMANCE AS A RESULT OF UNSUITABLE SOIL CONDITIONS THAT DO NOT MEET THE DESIGN CRITERIA ASSUMED BY THE ARCHITECT WITHOUT THE BENEFIT OF A GEOTECHNICAL REPORT. IT IS HIGHLY RECOMMENDED, AS A MINIMUM, A GEOTECHNICAL TESTING AGENCY SHALL BE SECURED BY THE OWNER TO PERFORM SOIL COMPACTION TESTS.

1.29 ALL FOOTINGS SHALL BEAR ON FIRM, UNDISTURBED EARTH OR APPROVED WELL-GRADED BANKRUN MATERIAL. 4" MAX. SIZE OF ROCK. COMPACT TO AT LEAST 95% OF ITS MAX. DENSITY AS DETERMINED BY ASTM D-1557. ARCHITECT IS NOT RESPONSIBLE TO VERIFY SOIL COMPACTION. PROVIDE DRAINAGE AND DEWATERING AROUND ALL WORK TO AVOID WATER-SOFTENED FOOTINGS.

1.30 THE ARCHITECT DOES NOT GUARANTEE NOR IS ARCHITECT RESPONSIBLE FOR THE PERFORMANCE OR LACK THEREOF OF, FOR THE ACTS OR OMISSIONS OF ANY CONTRACTOR, SUBCONTRACTOR, SUPPLIER OR ANY OTHER PERSON OR ENTITY FURNISHING MATERIALS OR PERFORMING ANY WORK ON THE PROJECT.

1.31 PROVIDE A SOLAR WATER HEATING SYSTEM AS REQUIRED FOR NEW SINGLE-FAMILY RESIDENTIAL CONSTRUCTION PER HRS §196-6.5. A VARIANCE APPLICATION FOR OTHER WATER HEATER DEVICES SHALL ONLY BE ACCEPTED IF SUBMITTED BY AN ARCHITECT.

2 – BUILDING CODE REQUIREMENTS

2.1 PROVISIONS OF THE FOLLOWING STANDARDS APPLY TO EVERY STRUCTURE WHEN APPLICABLE:
2006 INT'L BUILDING CODE (IBC) - ORDINANCE 3928
2006 INTERNATIONAL RESIDENTIAL CODE (IRC) - Ordinance 3929
2014 HAWAII STATE FIRE CODE – ORDINANCE 4232, § 3, 2015
2015 INT'L ENERGY CONSERVATION CODE - ORDINANCE 4969
2006 UNIFORM PLUMBING CODE - ORDINANCE 3923
2008 NATIONAL ELECTRICAL CODE - ORDINANCE 3726
OUTDOOR LIGHTING - ORDINANCE 3430.
HAWAIIAN REVISED STATUTES.
DRIVEWAYS - CHAPTER 12.08 -
SUBDIVISION AND ZONING ORDINANCES.
PUBLIC HEALTH REGULATIONS.
CH. 20.08 SOIL EROSION AND SEDIMENTATION CONTROL ORDINANCE 2684

CONTRACTOR TO PROVIDE AND IMPLEMENT A SITE SPECIFIC "BEST MANAGEMENT PLAN" TO KEEP WATER POLLUTANTS ON SITE.

2.2 SMOKE DETECTORS SHALL BE PROVIDED AT ALL BEDROOM AREAS, CORRIDORS ADJACENT TO BEDROOMS AND TOP OF STAIRS. CONNECT TO RESIDENCE POWER SOURCE (110 V).

2.3 FRAMING – CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH CHAPTERS 5, 6, & 8 OF THE 2006 IRC AND CHAPTERS 16 & 23 OF THE 2006 IBC FOR ALL FRAMING, EXECUTION, AND FOR VERIFICATION OF ALL LOCAL DESIGN LOADS.

2.4 WATER CLOSETS SHALL HAVE 30" MIN. CLEAR WIDTH & 21" MIN. OF CLEAR SPACE IN FRONT OF EA.

2.5 WATERPROOFING AND DRAINING OF WALLS BEHIND PLANTERS AND RETAINING WALLS SHALL BE PER SECTION R406 OF THE 2006 IBC.

2.6 FOUNDATION PLATES OR SILLS SHALL BE BOLTED WITH MINIMUM 1/2" DIA. STEEL BOLTS EMBEDDED AT LEAST 7" INTO CONCRETE OR REINFORCED MASONRY AND NOT MORE THAN 6" APART AND 12" FROM ENDS. MANUAL OR POWER DRIVEN FASTENERS MAY BE USED IN LIEU OF ANCHOR BOLTS WHEN THEY ARE OF THE APPROVED TYPE AND USED ACCORDING TO THE APPROVED REPORT, EXCEPT FOR SHEAR WALLS WHERE BOLTS MUST BE USED.

2.7 BUILDING PAPER OR METAL BARRIER SHALL BE PROVIDED BETWEEN WOOD AND CONCRETE OR MASONRY UNLESS WOOD IS PRESSURE-TREATED WITH AND APPROVED PRESERVATIVE MARKED BY AN APPROVED AGENCY.

2.8 CRAWL SPACES – WHEN WOOD JOISTS OR THE BOTTOM OF WOOD STRUCTURAL FLOORS WITHOUT JOISTS ARE LOCATED CLOSER THAN 24 INCHES OR WOOD GIRDERS ARE LOCATED CLOSER THAN 18 INCHES TO EXPOSED GROUND IN CRAWL SPACES OR UNEXCAVATED AREAS LOCATED WITHIN THE PERIPHERY OF THE BUILDING FOUNDATION, THE FLOOR ASSEMBLY, INCLUDING POSTS, GIRDERS, JOISTS AND SUBFLOOR, SHALL BE APPROVED WOOD OF NATURAL OR TREATED RESISTANCE TO DECAY. ACCESSIBLE UNDERFLOOR AREAS SHALL BE PROVIDED WITH AN 18" X 24" MIN. OPENING.

2.9 NOTCHES AT THE ENDS OF JOISTS SHALL NOT EXCEED 1/4 THE JOIST DEPTH. HOLES BORED IN JOISTS SHALL NOT BE WITHIN 2" OF THE TOP OR BOTTOM OF THE JOIST AND THE DIAMETER SHALL NOT EXCEED 1/3 THE DEPTH OF THE JOIST. NOTCHES IN THE TOP OR BOTTOM OF JOISTS SHALL NOT EXCEED 1/6 THE DEPTH AND SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF THE SPAN.

2.10 FIRE BLOCKING BETWEEN STUDS @ 10' O.C. MAX. AND AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES AS OCCUR AT SOFFITS, DROP CEILINGS, AND COVE CEILINGS.

2.11 ATTIC ACCESS WITH VERTICAL CLEAR HEIGHT OF 30 INCHES OR MORE SHALL BE PROVIDED. MINIMUM SIZE ACCESS SHALL BE 22" X 30" AND SHALL BE IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION.

2.12 GUARDS SHALL BE PROVIDED AT ALL UNENCLOSED FLOORS WHICH ARE MORE THAN 30 INCHES ABOVE GRADE OR FLOOR BELOW AND AT OPEN STAIRS WITH A TOTAL RISE MORE THAN 30". GUARDS SHALL NOT BE LESS THAN 36" IN HEIGHT. 34" AT OPEN STAIRS. GUARDS AND HANDRAILS SHALL HAVE INTERMEDIATE RAILS SUCH THAT AN OBJECT 4 INCHES IN DIAMETER CANNOT PASS THROUGH.

2.13 HANDRAILS PROVIDE MIN. ONE SIDE OF STAIRS OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH FOUR OR MORE RISERS AND SHALL BE NOT LESS THAN 34" OR MORE THAN 38" ABOVE NOSING. HANDGRIP NOT LESS THAN 1-1/4" OR MORE THAN 2" IN CROSS-SECTIONAL DIMENSIONS.

2.14 STAIRWAYS –
RUNS: 10" MIN.
RISER: 7 3/4" MAX., 3 7/8" MAX. OPEN'G IN STAIR RISER 30" OR HIGHER FROM GRADE..
WIDTH: 36" MIN ABOVE HANDRAILS. 31.5" HANDRAIL HEIGHT AND BELOW.
LANDING: 36" IN LENGTH, AT TOP AND BOTTOM OF EACH STAIRWAY OR STAIR RUN. 2% SLOPE MAX
HEADROOM: 6'-8" MIN. FROM A PLANE PARALLEL AND TANGENT TO THE STAIRWAY TREAD NOSINGS TO ANY CONSTRUCTION ABOVE AT ALL POINTS.
ILLUMINATE ALL INTERIOR AND EXTERIOR STAIRWAYS, INCLUDING THE LANDINGS AND TREADS. EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE TOP LANDING OF THE STAIRWAY. ALL CONTROLLED FROM INSIDE THE DWELLING UNIT.

2.15 INSULATION: RESIDENTIAL BUILDINGS IN THE TROPICAL ZONE AT ELEVATIONS BELOW 2,400 FEET. REQUIRE R-19 IN ATTICS AND R-13 IN WALLS WITH 36" OVERHANG. A CEILING FAN ROUGH-IN IS REQUIRED FOR BEDROOMS AND THE LARGEST SPACE THAT IS NOT USED AS A BEDROOM. RESIDENTIAL BUILDINGS ABOVE 2,400 FEET, REQUIRE R-30 IN ATTICS AND R-13+R-3 C.I. OR R-20 MIN. IN WALLS.

2.16 30" MAX "HEIGHT" OF STRUCTURE – MEANS THE VERTICAL DISTANCE MEASURED FROM A POINT ON THE TOP OF A STRUCTURE TO A CORRESPONDING POINT DIRECTLY BELOW ON THE NATURAL OR FINISH GRADE, WHICHEVER IS LOWER.

2.17 MECHANICAL VENTILATION IN TOILET MINIMUM VENTILATION RATES SHALL BE 50 CFM. UNDER CUT DOOR TO PROVIDE INFLOW.

2.18 UNDER-FLOOR VENTILATION – TOTAL OPENINGS SHALL HAVE MIN NET AREA OF 1 S.F. FOR EACH 150 S.F. OF UNDER-FLOOR AREA. PROVIDE SCREENED OPENINGS WITHIN 3' OF EA. CORNER OF THE BUILDING.

2.19 LANDINGS - PROVIDE AT EXTERIOR DOORS, NOT LESS THAN WIDTH OF DOOR AND 36" IN LENGTH.

2.20 DRAINAGE – GRADE TO DRAIN SURFACE WATER AWAY FROM EXTERIOR WALLS. MIN 5% SLOPE WITHIN FIRST 10' OR TO SWALE.

2.21 GARAGE – APPLY 1/2" GYP.BD. TO GARAGE SIDE OF WALL SEPARATING GARAGE FROM DWELLING AND CEILING TO ATTIC. APPLY 5/8" TYPE X GYP.BD TO CEILINGS SEPERATING GARAGE TO HABITABLE ROOMS ABOVE. DOORS SHALL SOLID WOOD 1 3/8" THICK, BE SELF-CLOSING AND SELF-LATCHING.

2.22 FLASHING – PROVIDE WHEN REQUIRED PER R703.8

3 – WINDOW REQUIREMENTS

3.1 NATURAL LIGHT AND VENTILATION - ALL HABITABLE ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA OF NOT LESS THAN 8 PERCENT OF THE FLOOR AREA OF SUCH ROOMS. NATURAL VENTILATION SHALL BE THROUGH WINDOWS, DOORS, LOUVERS OR OTHER APPROVED OPENINGS TO THE OUTDOOR AIR. SUCH OPENINGS SHALL BE PROVIDED WITH READY ACCESS OR SHALL OTHERWISE BE READILY CONTROLLABLE BY THE BUILDING OCCUPANTS. THE MINIMUM OPENABLE AREA TO THE OUTDOORS SHALL BE 4 PERCENT OF THE FLOOR AREA BEING VENTILATED.

3.2 SCREENS - AIR EXHAUST AND INTAKE OPENINGS THAT TERMINATE OUTDOORS SHALL BE PROTECTED WITH CORROSION-RESISTANT SCREENS, LOUVERS OR GRILLES HAVING A MINIMUM OPENING SIZE OF 1/4 INCH AND A MAXIMUM OPENING SIZE OF 1/2 INCH IN ANY DIMENSION.

3.3 ESCAPE OR RESCUE BEDROOM WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 S.F. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES. THE MINIMUM NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES. SILL HEIGHT NOT MORE THAN 44 INCHES ABOVE THE FLOOR.

3.4 OPERABLE WINDOWS ABOVE THE FIRST FLOOR WHICH HAVE A SILL HEIGHT LESS THAN 24 INCHES ABOVE FINISH FLOOR SHALL BE PROVIDED WITH A GUARDRAIL OR OTHER BARRIERS TO PREVENT A PERSON FROM FALLING THROUGH THE OPENING.

3.5 SAFETY GLAZING (TEMPERED GLASS OR LAMINATED GLASS THAT MEETS 400 FT/LB IMPACT TEST), PROVIDE AT FOLLOWING LOCATIONS:

3.6 WINDOWS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24-INCH ARC OF THE VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION.

3.7 GLAZING ADJACENT TO STAIRWAYS, LANDINGS AND RAMPS WITHIN 36 INCHES HORIZONTALLY OF A WALKING SURFACE WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE..

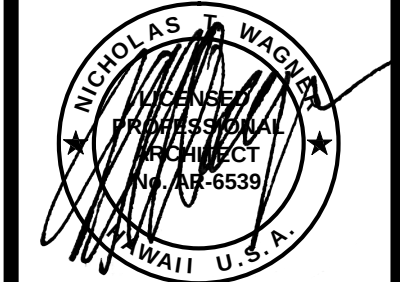
3.8 WINDOWS AT BATHTUB & SHOWER WHEN EXPOSED EDGE IS LESS THAN 60 INCHES ABOVE THE STANDING SURFACE AND DRAIN INLET.

3.9 BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR

3.10 PROTECTION OF OPENINGS WINDOWS IN BUILDINGS LOCATED IN WIND BORNE DEBRIS REGIONS SHALL HAVE GLAZED OPENINGS PROTECTED FROM WINDBRONE DEBRIS.

MAUI COUNTY CODES CAN BE SEEN AT [HTTPS://LIBRARY.MUNICODE.COM/HI/COUNTY_OF_MAUI/CODES/CODE_OF_ORDINANCES](https://library.municode.com/hi/county_of_maui/codes/code_of_ordinances) See title 16 "BUILDING AND CONSTRUCTION" and title 19 "ZONING".

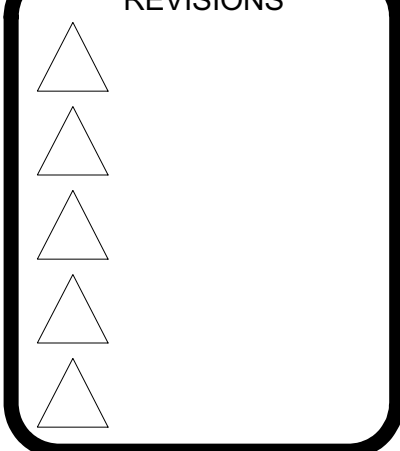
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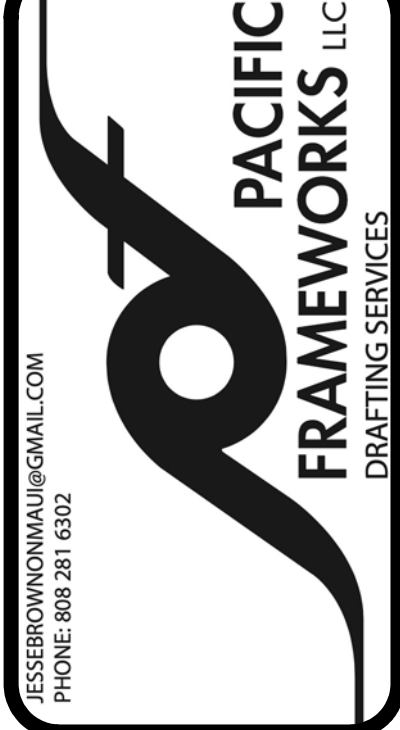
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EXPIRATION DATE OF LICENSE
4/30/2022

PROPOSED DWELLINGS A & B FOR:
MIKE BERRIGAN
2728 KAUPAKALUA RD. HAIKU, HI.
TMK: (2) 2-7-001:038

REVISIONS

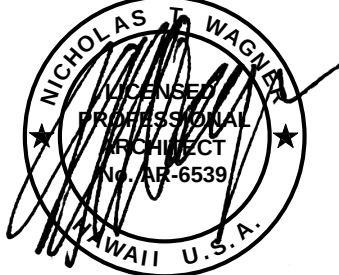


JESSE BROWN@MAUI.GMAIL.COM
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FRAMEWORKS LLC
DRAFTING SERVICES

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KAI GRISSOM
CHECKED BY
JESSE BROWN
DATE
04-16-21
SHEET
A-6



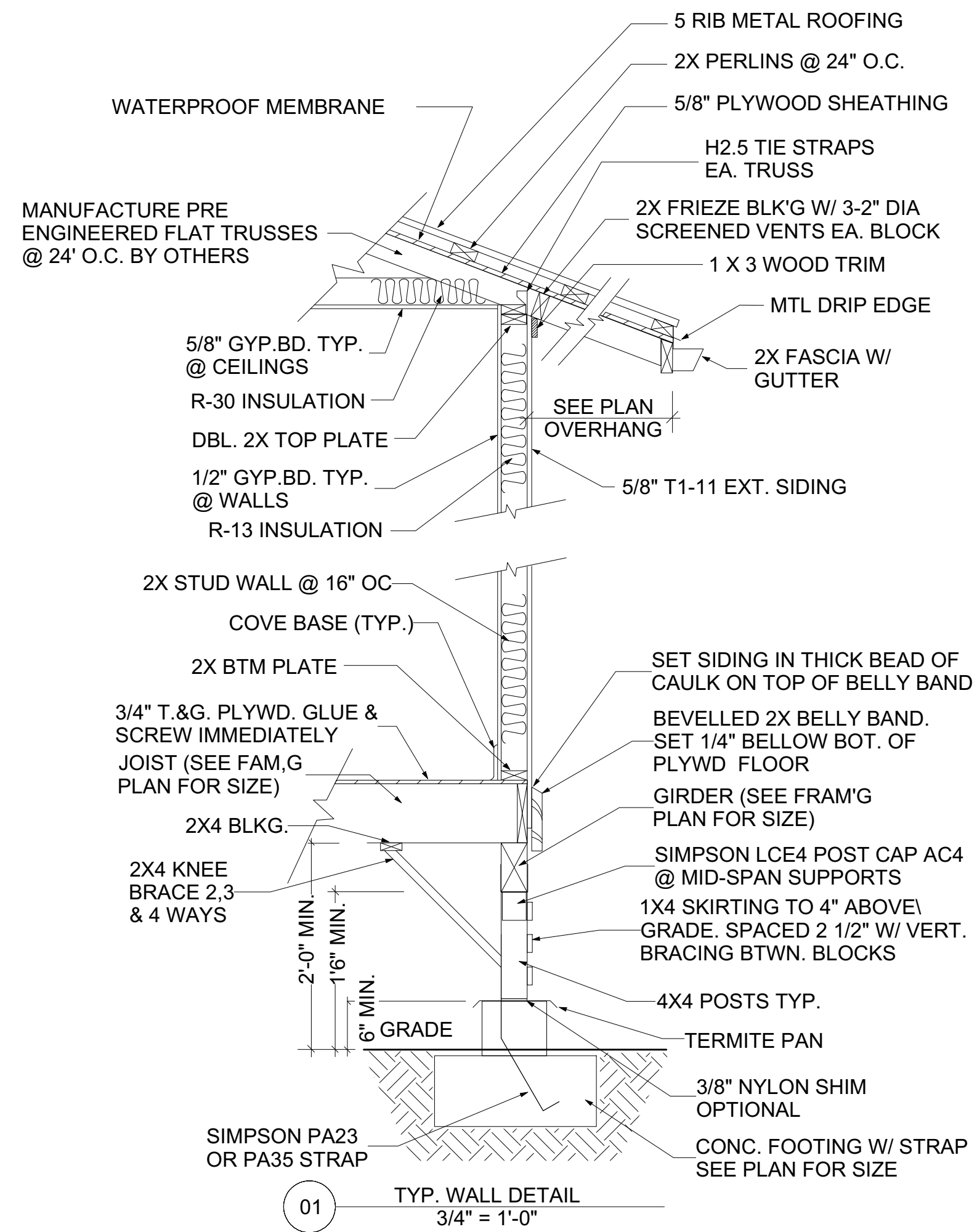
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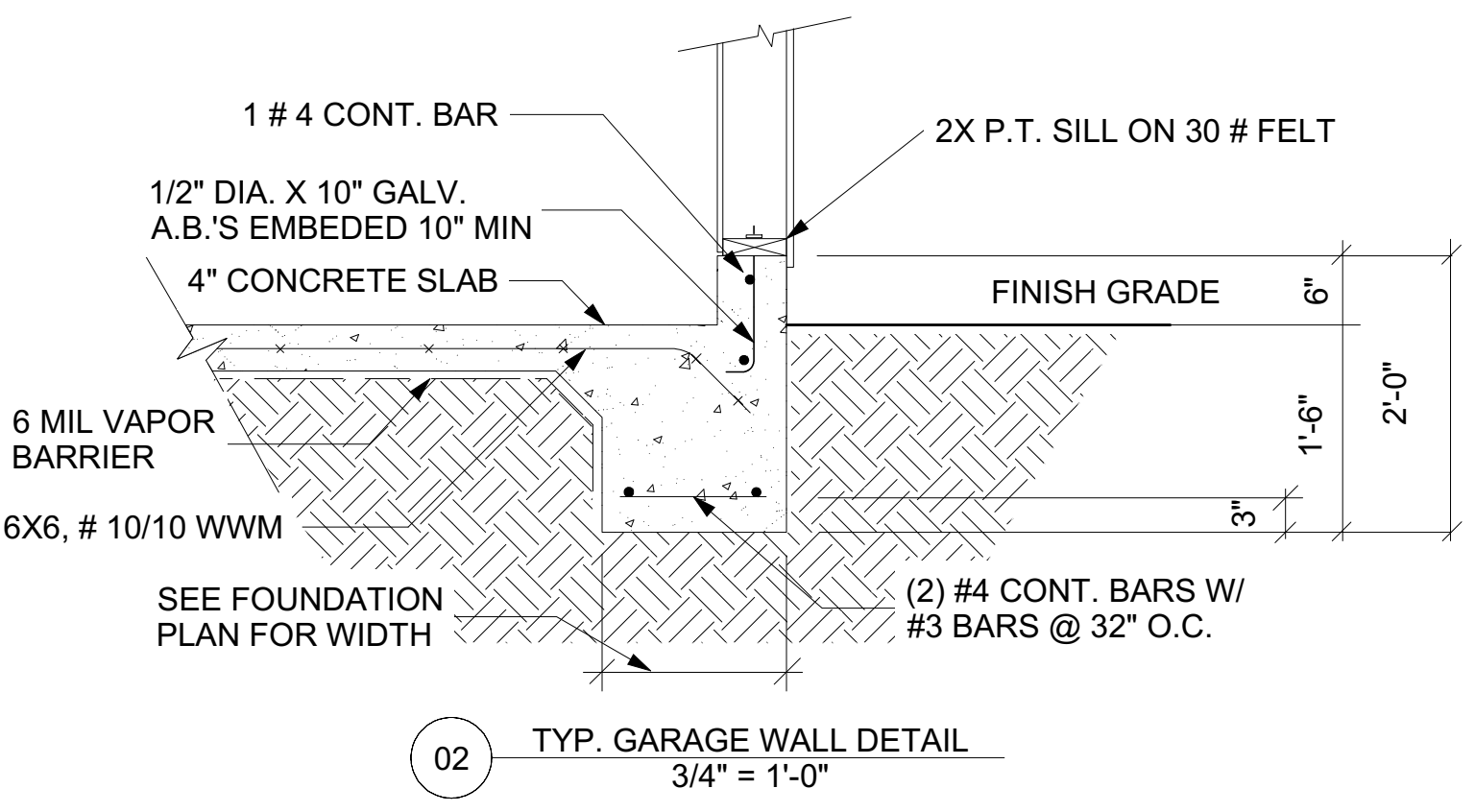


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SHEET
S-1

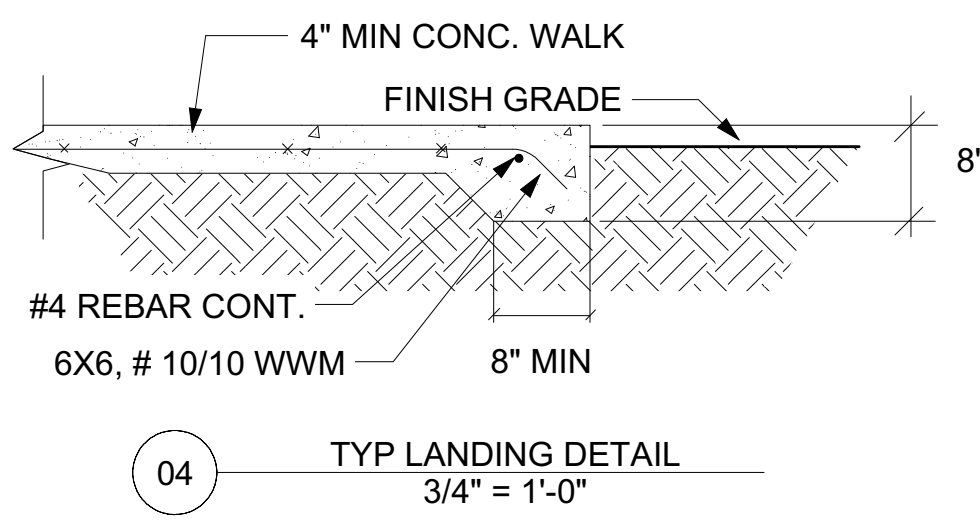
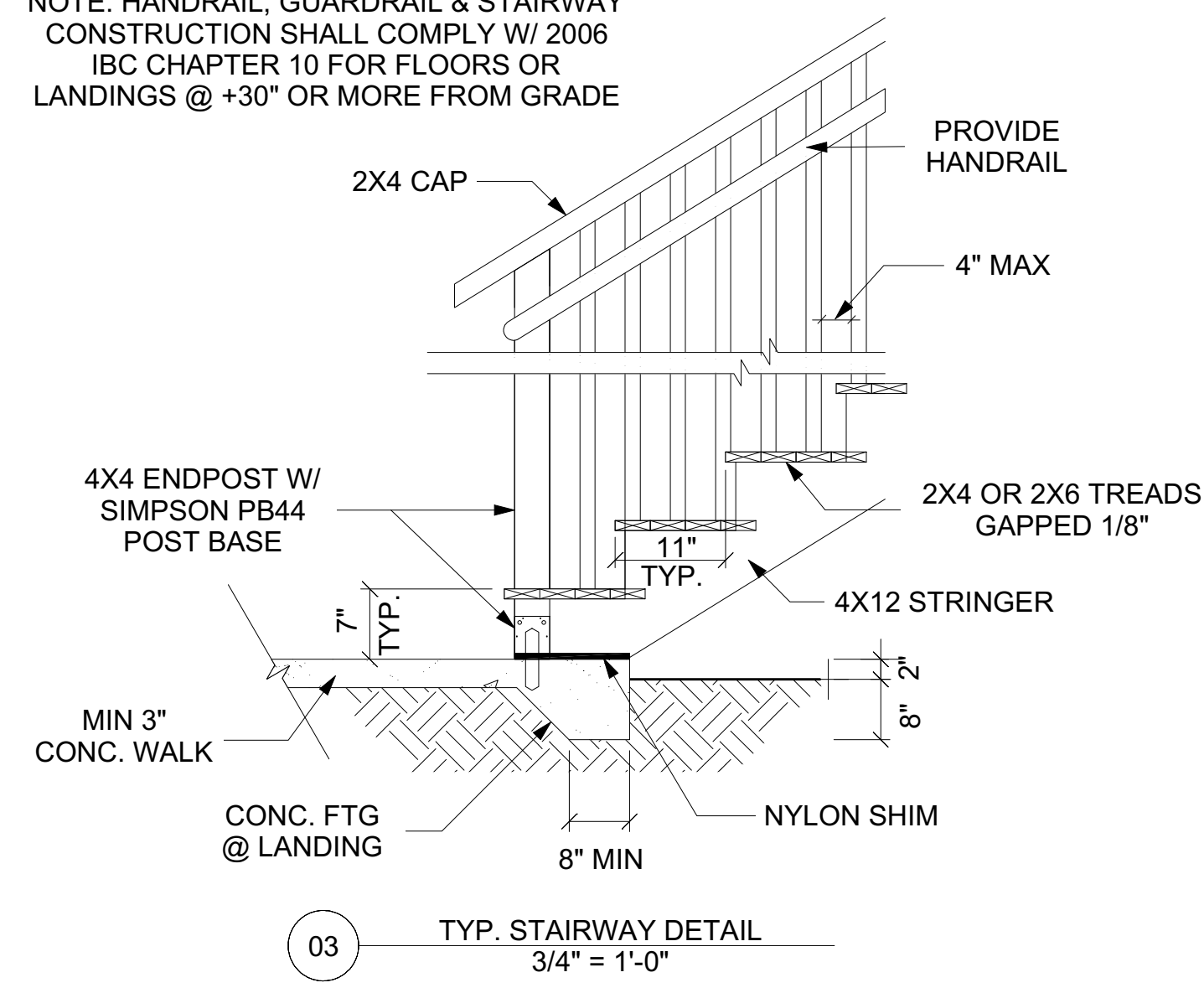


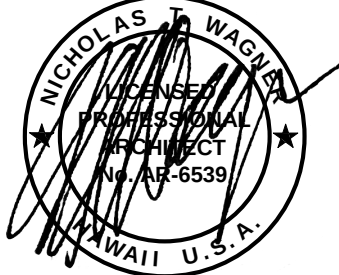
NOTE: FIRE BLOCKING
REQUIRED AT ALL WALLS
THAT EXCEED 10' IN HEIGHT

SIMILAR CONSTR. SEE
DETAIL "01" (SHEET S-1)



NOTE: HANDRAIL, GUARDRAIL & STAIRWAY
CONSTRUCTION SHALL COMPLY W/ 2006
IBC CHAPTER 10 FOR FLOORS OR
LANDINGS @ +30' OR MORE FROM GRADE

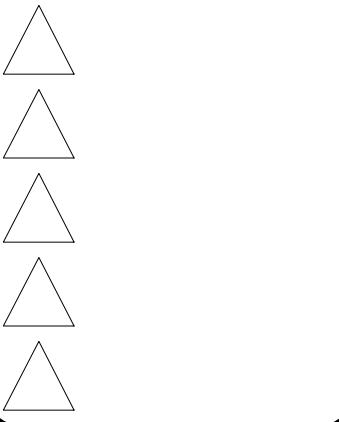




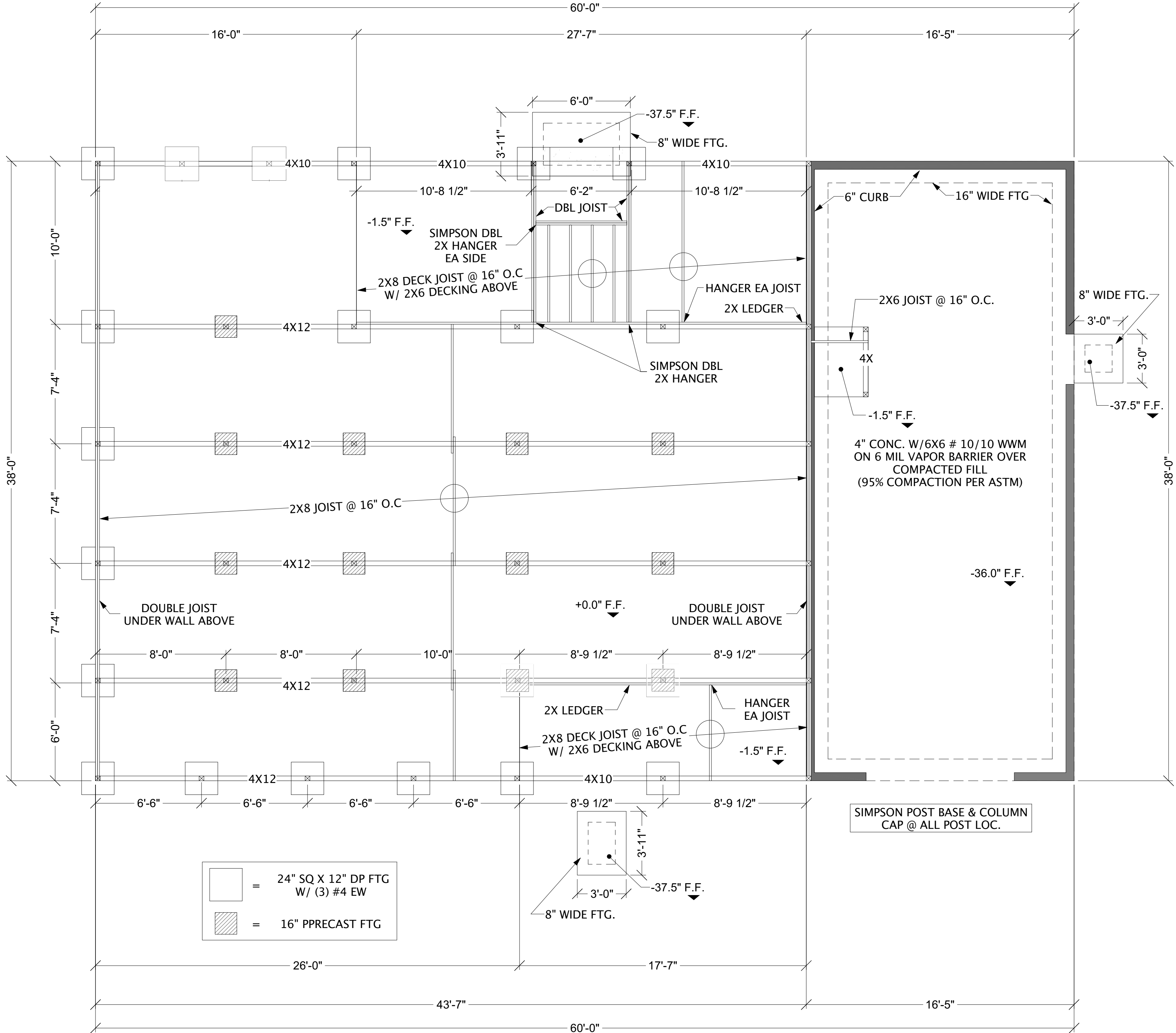
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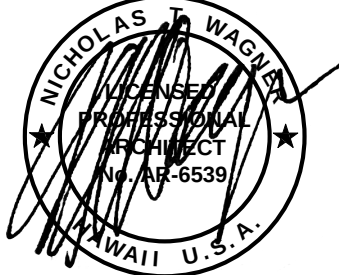


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SEE NOTES ON PG A-6
2.8 CRAWL SPACES
2.11 ATTIC ACCESS
2.12 GUARDS
2.13 HANDRAILS
2.14 STAIRWAYS
2.21 GARAGE
3. WINDOW REQUIREMENTS

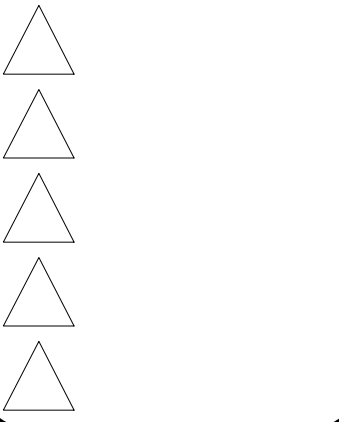
DWELLING A & B
FOUNDATION PLAN
SCALE 1/4" = 1' - 0"



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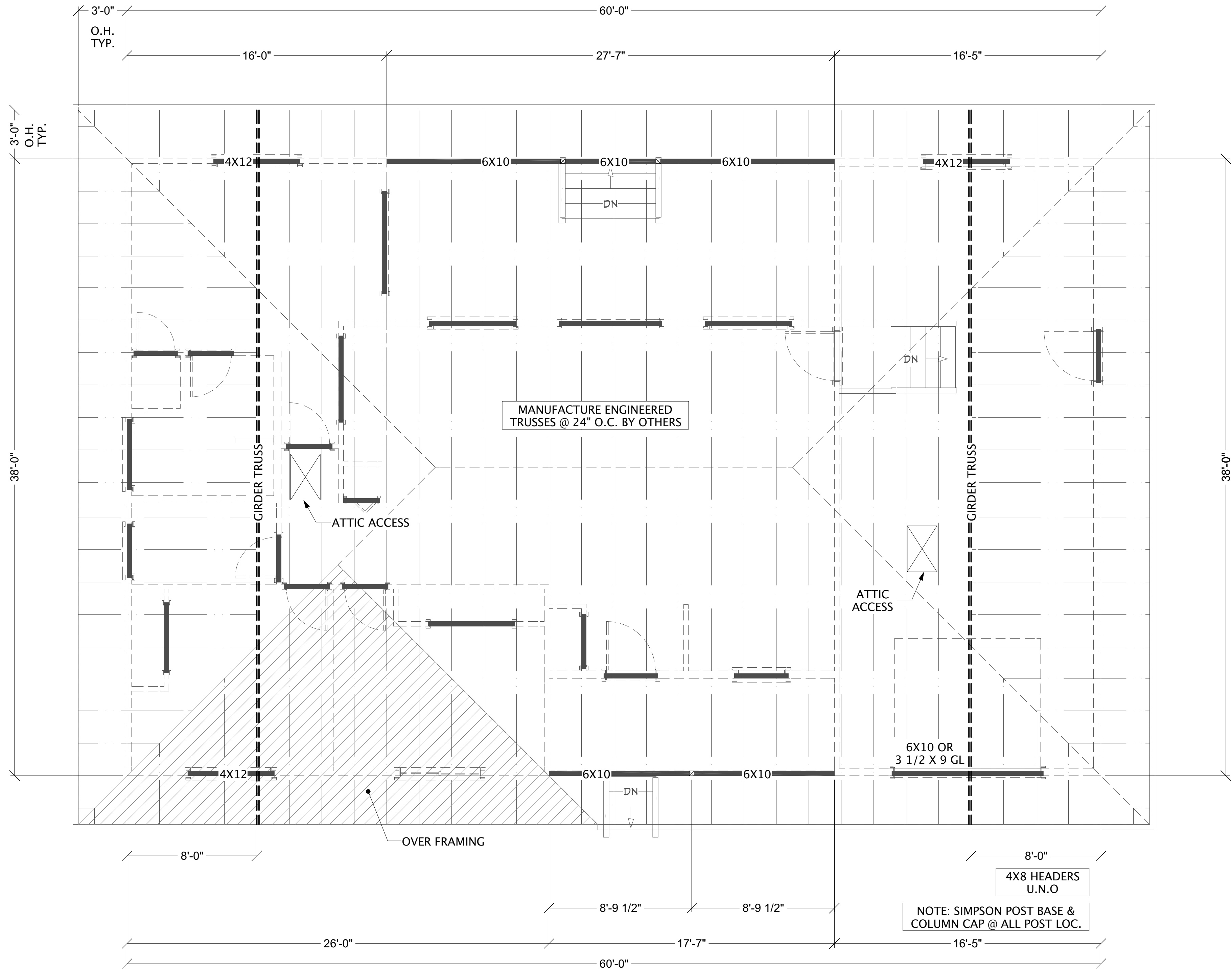
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S-3

SEE NOTES ON PG A-6

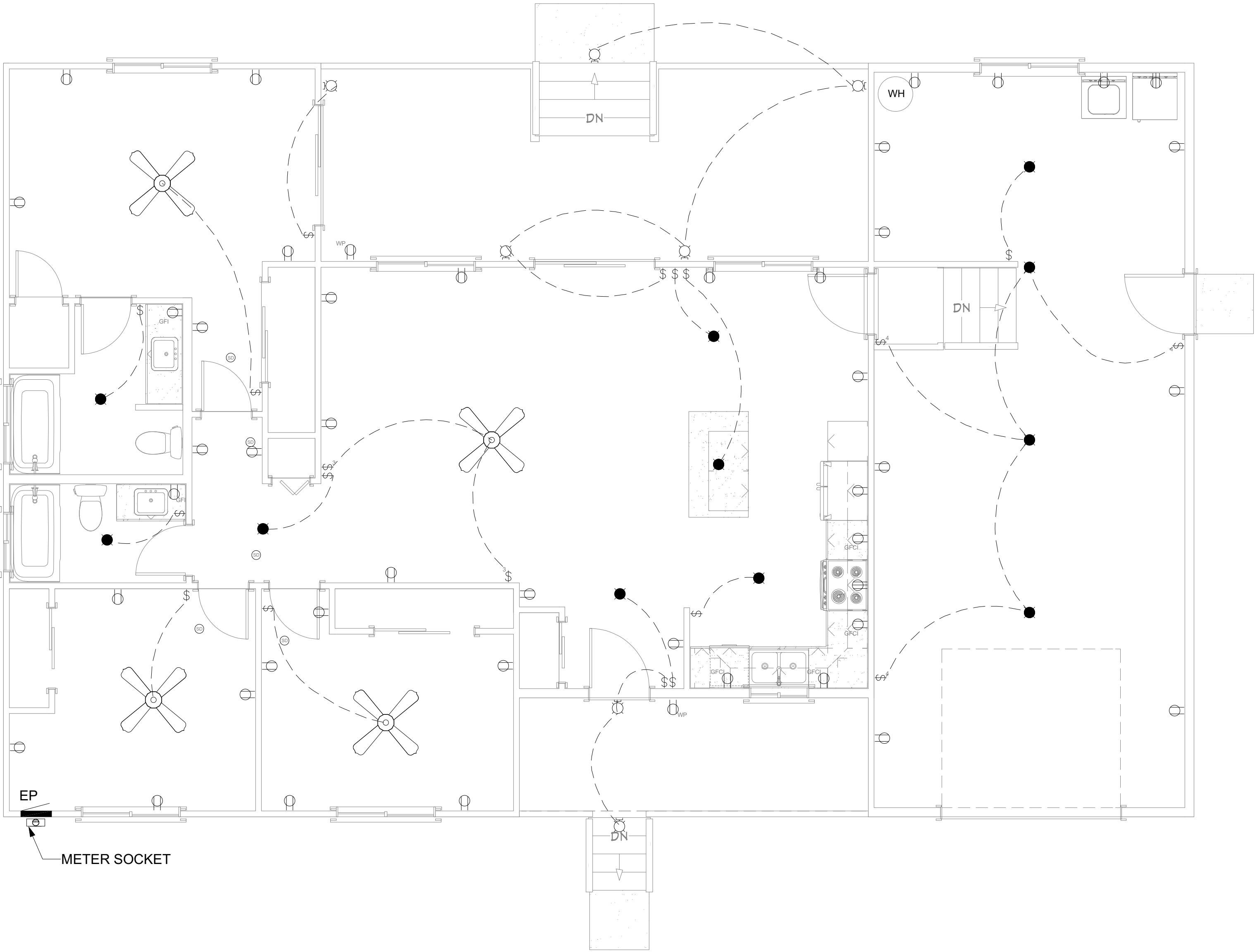
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- 2.12 GUARDS
- 2.13 HANDRAILS
- 2.14 STAIRWAYS
- 2.21 GARAGE
- 3. WINDOW REQUIREMENTS



DWELLING A & B
ROOF FRAMING PLAN
SCALE 1/4" = 1' - 0"

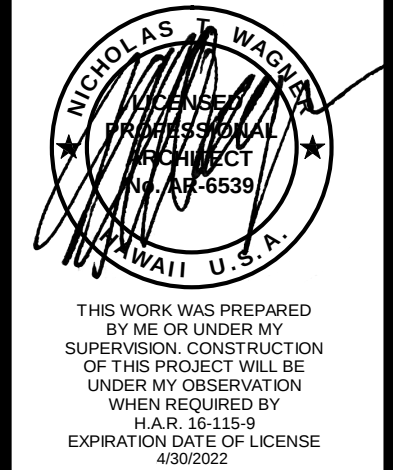
ELECTRICAL LEGEND

- RECESSED DOWN LIGHT
- CEILING LIGHT
- WALL LIGHT
- PENDANT LIGHT
- DUPLEX OUTLET
- GROUND FAULT INTERUPTER
- HALF OUTLET SWITCHED
- FLOOR/CEILING OUTLET
- WEATHERPROOF OUTLET
- 220 V OUTLET
- SMOKE DETECTOR
- WALL SWITCH
- THREEWAY SWITCH
- WEATHERPROOF SWITCH
- FLUORESCENT LIGHT FIXTURE
- INTERIOR CLOSET LIGHTING
- TELEPHONE JACK
- TELEVISION JACK
- EXAUST FAN
- EXAUST FAN/LIGHT
- ELECTRICAL PANEL
- METER SOCKET
- MOTION SENSOR LIGHT
- ON DEMAND TANKLESS WATER HEATER
- TRACK LIGHT



DWELLING A
ELECTRICAL PLAN
SCALE 1/4" = 1' - 0"

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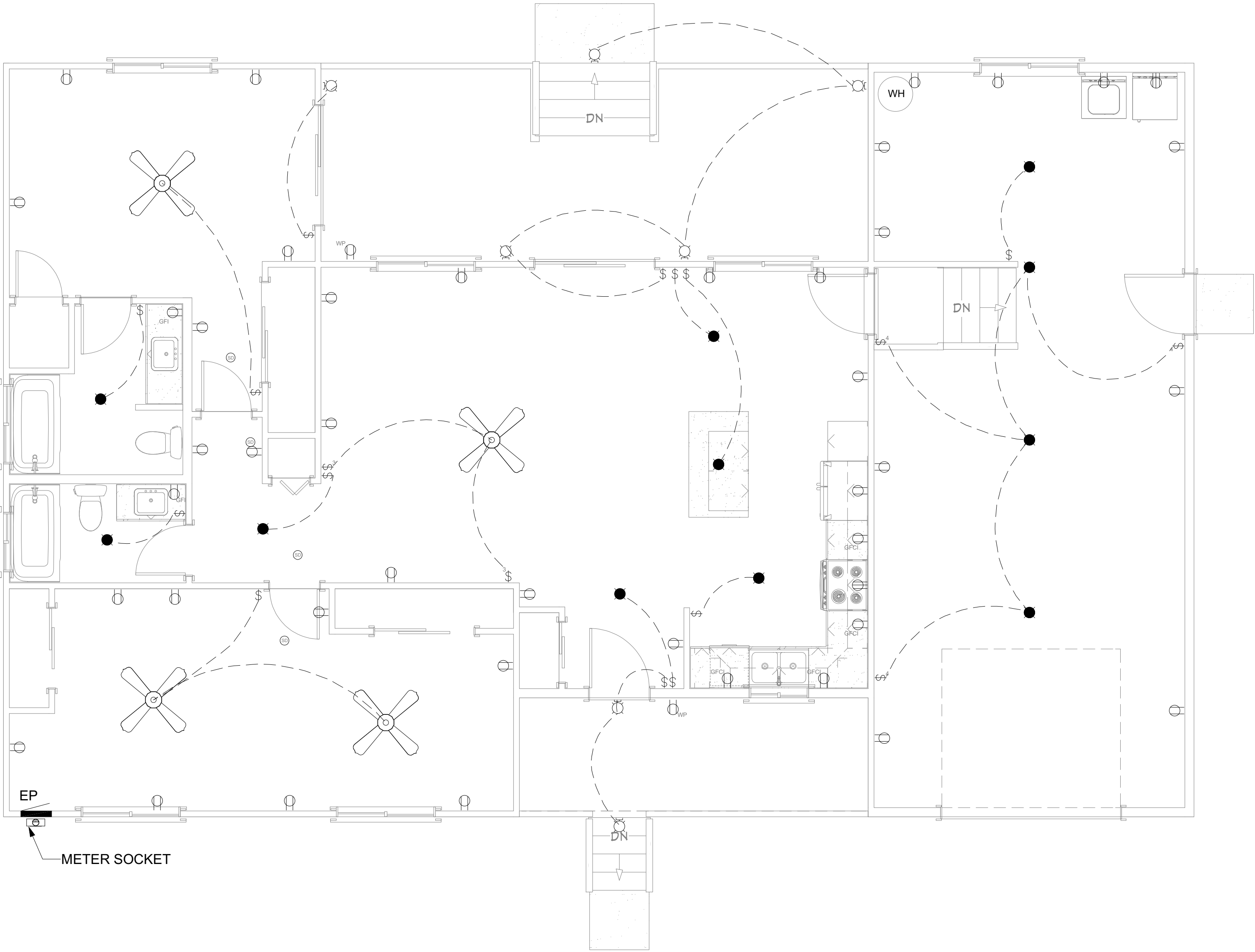
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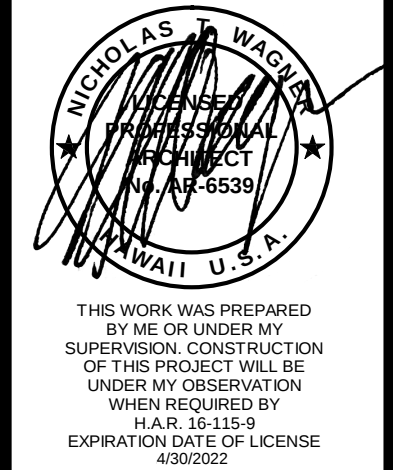
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- EXAUST FAN/LIGHT
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- METER SOCKET
- MOTION SENSOR LIGHT
- ON DEMAND TANKLESS WATER HEATER
- TRACK LIGHT



DWELLING B
ELECTRICAL PLAN
SCALE 1/4" = 1' - 0"

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