



LANDSCAPE DESIGN STANDARDS



**WELLEN
PARK**

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1. Landscaping and Irrigation Standards

The following landscape and irrigation standards are intended to provide guidance for future development within the West Villages, supporting open space areas that are functional, adaptable, and ecologically sound. These standards are intended to apply to all areas within the West Villages and may be further defined during the Village Design Pattern Plan (VDPP) review process.

Landscape areas are four (4) separate zones; landscaping against major roads and parkways, against abutting properties, interior landscaping, and building perimeter landscaping. All plant materials shall be from Appendix A of these requirements.

To maintain the landscaping in a healthy condition, all landscaped areas shall be provided with a permanent irrigation system that supplies one-hundred (100) percent coverage to all required landscaping plant material. Turf areas shall be on separate irrigation zones from other landscape plant zones. All irrigation systems shall be designed to avoid overspray, runoff, low head drainage or other similar conditions where water flows onto or over adjacent property, non-irrigated areas, walkways, roadways, structures or water features. A low volume irrigation system shall be used wherever possible to minimize evaporation.

The landscape and irrigation system shall be maintained and managed to ensure water efficiency and prevent wasteful practices. This should include, but not be limited to, resetting the automatic controller according to the season, flushing the filters, testing the rain sensor device, monitoring, adjusting and repairing irrigation equipment such that the efficiency of the system is maintained; replenishing mulch, and utilizing turf and landscape best management practices.

The West Villages Review Committee (WVRC) shall have authority to review and approve designs consistent with the Southwest Florida Water Management District (SWFWMD) Design Standards.

Note:

Granting authority to the WVRC for review and approval of landscape plans does not eliminate the City's review authority to evaluate code-minimum landscape plans to confirm consistency with the current VDPB, the respective VDPP, and the ULDC.

2. Open Space

In each VDPP, minimum open space criteria shall be established for each land use area. Open space areas may include, but should not be limited to the following:

- Buffers
- Landscaped areas in off-street parking areas
- Dry detention areas
- Existing or proposed bodies of water, including stormwater management areas, consistent with the City of North Port ULDC (Unified Land Development Code)
- Active and passive recreation areas, such as playgrounds, golf courses, multimodal trails, and other similar open spaces
- Interior landscaped areas within commercial and Mixed-Use areas
- Building perimeter landscaping
- Pedestrian oriented hardscape areas such as plazas and outdoor dining spaces, when pervious materials

3. Village Perimeter Walls

Village perimeter walls are permitted within any commonly-owned open space tract or right-of-way within the Village. The Village perimeter walls provide identity and definition to different uses and spaces that they separate throughout the Village. In addition, these walls provide separation, safety and tranquility for various uses and outdoor spaces in and out of the Village. Appropriate locations for such walls are around the Village edges, within the Village greenbelt, along neighborhood boundaries, along the Town Center boundary, and around any use within a Town Center. Village perimeter walls may be permitted up to ten (10) feet in height, exclusive of any berm. Village perimeter walls shall be constructed to resemble one or a combination of the following materials: masonry, wood, aluminum and wrought iron.

4. Tree Canopy Development Standards

The City of North Port's ULDC requires a minimum of thirty-five (35) percent canopy coverage for all individual lots, parcels and/or large developments. The West Villages is a large development, and therefore, the canopy coverage requirement shall be calculated on a village by village basis. The following standards shall apply to all development in West Villages.

4.1 General Tree Canopy Development Standards

In addition to trees that are preserved during development, all canopy trees that are planted shall count toward the minimum thirty-five (35) percent canopy coverage requirement:

4.2 Residential Street Trees

One canopy tree shall be planted within twenty-five (25) feet of the right-of-way of each local street within a residential development for every fifty (50) linear feet, or substantial fraction thereof, or right-of-way when proposed lots have a minimum of one-hundred (100) feet of frontage or greater. When proposed lots have less than one-hundred (100) feet of frontage, street trees shall be limited to one (1) canopy tree per frontage. None of these required trees shall be planted within public or private utility easements.

For proposed lots with less than sixty (60) feet of frontage, smaller maturing canopy trees or understory trees may be used.

The trees shall be spaced no closer together than twenty-five (25) feet, unless a decorative grouping or alternative method is chosen by the developer. Existing native trees should be used to fulfill these requirements wherever they meet the spacing and size requirements and are adequately protected during construction.

In order to ensure street trees are adequately protected and preserved, the developer shall provide a fifteen (15) foot landscape easement along all street frontages, on each Final Plat for residential development. The easement shall be to the benefit of West Villages Improvement District and/or their assignee(s), and the City of North Port. The easement shall protect the required street tree that is planted on

individual residential lots, as detailed above. Tree maintenance and pruning shall be the responsibility of the property owner. Request for tree removal and replacement shall be in accordance with the ULDC, in effect at the time of request.

Neighborhoods in Village E that are developed exclusively for residential use will provide a minimum of thirty-five (35) canopy coverage at maturity. Compliance will be demonstrated at time of Site and Development Plan submittal.

4.3 Town Center Canopy Trees

To further the urban design character of the proposed Town Center and the desire to concentrate uses within a walkable, retail and entertainment district, canopy trees may be clustered based upon specific site designs to provide appropriate function and character to the space, as determined by the WVRC. Canopy trees will be utilized to provide natural shading within pedestrian environments and configured to allow sight lines to building facades and signage elements for the purposes of wayfinding. It is critical that trees placed within an urban environment have proper form at the time of planting.

Development in Town Center shall be required to provide a minimum of twenty (20) percent canopy coverage at maturity. With the exception of Village E residential neighborhoods, this standard is not to be applied to individual parcels, but to all development areas within West Villages Town Center.

5. Landscape Requirements for Major Roads and Parkways

Street trees, shrubs, and sod within the right of way will be provided and installed by the developer and/or West Villages Improvement District. All landscape requirements between the right-of-way and proposed development will be provided and installed by the developer, unless otherwise specified. Berms may be used as landscape treatment. No building structures, except walls, freestanding signs, or fencing shall be constructed on the berm

a. In addition to trees that are preserved during development, all canopy trees that are planted shall count toward the minimum thirty-five (35) percent canopy coverage requirement.

b. The frontage yard shall include two (2) canopy trees and three (3) ornamental trees planted every one-hundred (100) feet, or fraction of frontage yard. No canopy tree shall be planted closer than five (5) feet to the Purchaser/Lessee curb, or closer than seven (7) feet to a sidewalk.

c. The opaque screen will be entirely of living landscaped material which will be a minimum of twenty-four (24) inches in height at the time of building occupancy and must be continuous along the entire frontage yard. All shrub beds will be mulched.

d. The entire frontage yard shall be irrigated. It is recommended that the main supply line be held tight to the inside Purchaser/ Lessee curb (as opposed to the right-of-way line) and to minimize soil disturbance in the natural vegetation areas.

e. Perimeter/Roadway buffers may be independent of the project boundary, and may include additional open space, lakes, and conservation/preservation areas, as long as the intent of the buffer is achieved with existing vegetation, and/or proposed plant material.

f. Perimeter/Roadway buffers may include a combination of berm, wall, fence, and plant material.

g. The frontage yard shall be planted with shrubs and groundcover, and shall contain no more than fifty (50) percent sod or turf grass.

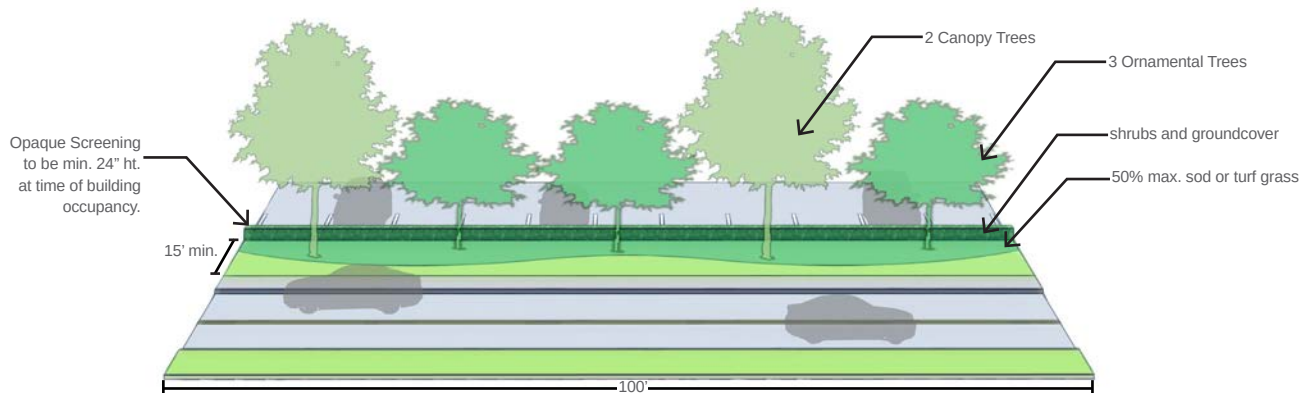


Figure 5.1: Landscape Frontage Yard

5.1) The Triangular Areas Are:

a. When the vehicular entrance/exit intersects a right-of-way or internal drive, all landscaping within the triangular areas described below shall allow unobstructed cross-visibility between two and one-half ($2\frac{1}{2}$) feet to nine (9) feet above finished grade (tree trunks trimmed of foliage to nine (9) feet, and newly planted material with immature crown development allowing visibility are exempt). Turf or ground cover will be permitted closer than three (3) feet to the entrance/exit paved surface.

b. At interior roads, from intersection of the right-of-way line with entrance/exit road edge line to two (2) points each thirteen (13) feet along those lines and connecting those two (2) points defines the first cross visibility triangle. See Figure 5.2.

c. At the main entrance drives to large commercial tracts, from intersection of the dedicated right-of-way line of major parkways with an access right-of-way line to (2) points each thirty (30) feet along those lines and connecting those two (2) points defines the second cross visibility triangle. See Figure 5.3.

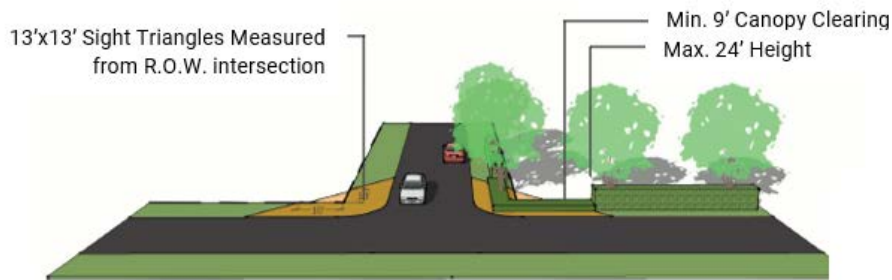


Figure 5.2: Visibility Triangles at Main Entry Drives

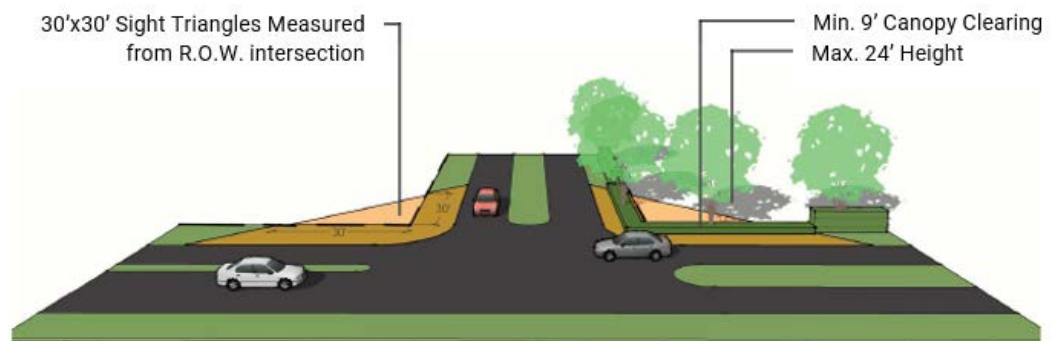


Exhibit 5.3: Visibility Triangles at Main Entry Drives

6. Abutting Property Requirements

Abutting property requirements will apply between the Purchaser/Lessee and one or more of the following:

1. Common property/drive
2. Other adjacent Purchaser/Lessee
3. Private West Villages space.

For all three conditions, there shall be a continuous landscape buffer yard the entire length of the common property between the property line and the Purchaser/Lessee's paved ground surface area. Entrance/exit or cross access paving width plus three (3) feet each side will be deducted when computing the buffer yard length requirements. The buffer yard minimum width shall be as detailed below. There shall be no ground surface left uncovered (shrubs, ground cover or turf) and it shall be irrigated.

Site improvements shall include coordination and construction of a concrete sidewalk to the adjacent parcel(s) property line to promote positive pedestrian circulation throughout development parcels (See Adopted Index Map).

6.1 Against Common Internal Street/Entry Drives

For all buildings that are not built to within ten (10) feet of internal roadways, there shall be one canopy tree planted for every fifty (50) linear feet or fraction thereof in a fifteen (15) foot minimum (twenty (20) feet with required sidewalks) width buffer yard. Tree species shall be per Appendix A. For buildings that are built to within ten (10) feet of internal roadways, no landscaping shall be required, but provided for in the Right-of-Way for those internal streets/entry drives, and consistent with roadway standards contained in the VDPB.

6.2 Against Other Adjacent Purchaser/Lessee Properties:

The buffer yard shall be a minimum of eight (8) feet wide. The Purchaser/Lessee who causes initial construction (1st Purchaser/Lessee) shall install canopy trees for every thirty (30) linear feet or fraction thereof, an opaque screen of living landscape material (minimum twenty-four (24) inches in height), groundcover and sod. The second Purchaser/Lessee will not be required to provide or install a landscape buffer yard against the common property line.

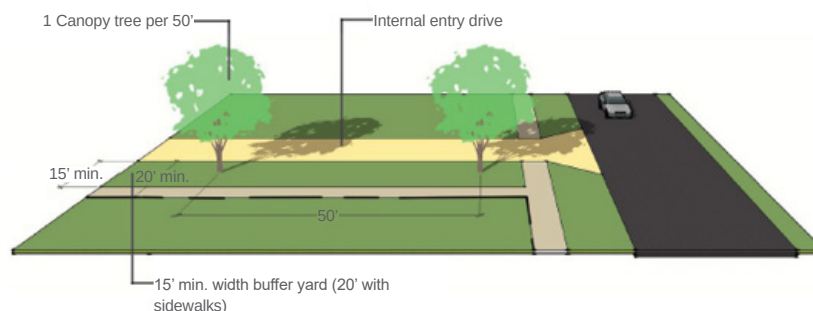


Figure 6.1: Abutting Property Requirements Against Common Internal Street/Entry Drives

Where Purchasers/Lessee's abut one another in a common access drive, the required landscape buffer may be deleted.

Internal street/drive buffers shall not be required for Mixed-Use Street A (see Mixed-Use Street A Cross Section).



Figure 6.2: Abutting Property Requirements Against Purchaser/Lessee Properties

6.3 Against Private West Villages Property:

The buffer yard shall be a minimum of fifteen (15) feet wide. There will be three (3) canopy trees, five (5) ornamental trees planted for every one-hundred (100) linear feet or fraction thereof of the buffer yard as well as shrubs, groundcover, and sod. Shrubs will be a minimum of twenty-four (24) inches in height and spaced thirty (30) inches O.C. minimum forming a continuous opaque hedge. Shrubs and groundcover will be planted and sod or turf grass shall be limited to fifty (50) percent of the total plantable area. New trees shall be planted to match the species of the West Villages existing trees. Purchaser/Lessee shall plant

and irrigate to the right of way line or back of sidewalk within private West Villages property as required.

Where adjacent property is to be developed as a continuation of commercial development and/or parking area, the buffer yard shall not be required.

Where future development of adjacent property is residential or unknown, the buffer yard shall be required.

If the adjacent property has provided a buffer which meets or exceeds the buffer width and plant quantities identified, the buffer yard and plantings shall not be required.

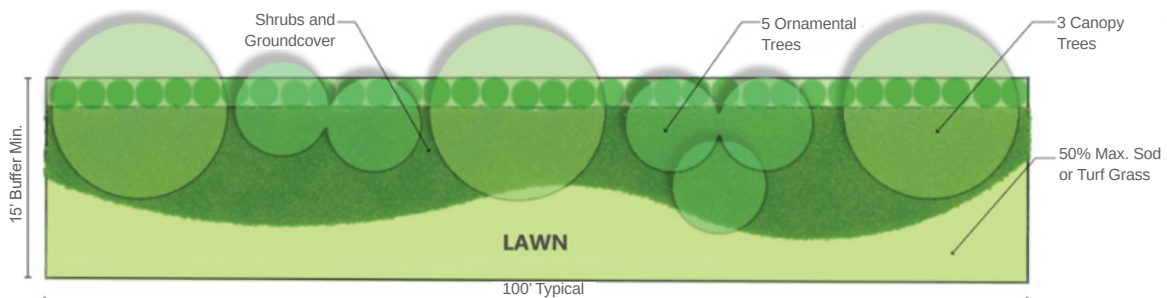


Figure 6.3a: Abutting Property Against Private West Villages Property

7. Interior Landscape Requirements For Non-Residential And Mixed-Use Development

Interior landscape areas are in the parking field between the building perimeter curb and the outer parking lot edge. Interior landscape area requirements are in addition to roadway or abutting property requirements, unless otherwise approved.

Palm trees may be utilized, in lieu of canopy trees in interior landscape areas along the exterior of parking lots. A minimum of three (3) single trunk palms (cluster application) may be substituted for one (1) canopy tree. Palm tree substitutions shall not exceed twenty-five (25) percent of the total canopy trees required.

Sidewalks should provide direct and clear connection from all public rights-of-way to the façade of all development/buildings, as determined by the WVRC. At a minimum, one (1) coordinated pedestrian sidewalk, interior to the development, connecting across and through parking lots to serve buildings and/or sites should be provided. Parking spaces shall not disrupt sidewalk connections to building entries.

A maximum of ten (10) continuous parking spaces may be provided. Parking islands shall be provided at each end of a row of parking spaces. Each island shall be no less than eight (8) feet back of curb to back of curb. Each island shall be planted with one (1) canopy tree, six (6) shrubs, and the remaining plantable area groundcover. Sod or turf grass shall not be acceptable for use in required parking islands. Continuous parking spaces may be increased to a maximum of fifteen (15) continuous parking spaces when the parking island dimension is increased to no less than twelve (12) feet back of curb to back of curb.

Landscaped divider strips shall be provided at an average of every fourth (4th) row of parking and will be designed with a minimum ten (10) foot wide landscape strip. Landscape divider strips may contain a minimum five (5) foot sidewalk when the overall divider width is increased by the dimension of the proposed sidewalk (ex. five (5) foot wide sidewalk requires fifteen (15) feet wide diver strip). Landscaped divider strips, not exceeding a 4:1 slope, may be utilized for stormwater retention purposes.

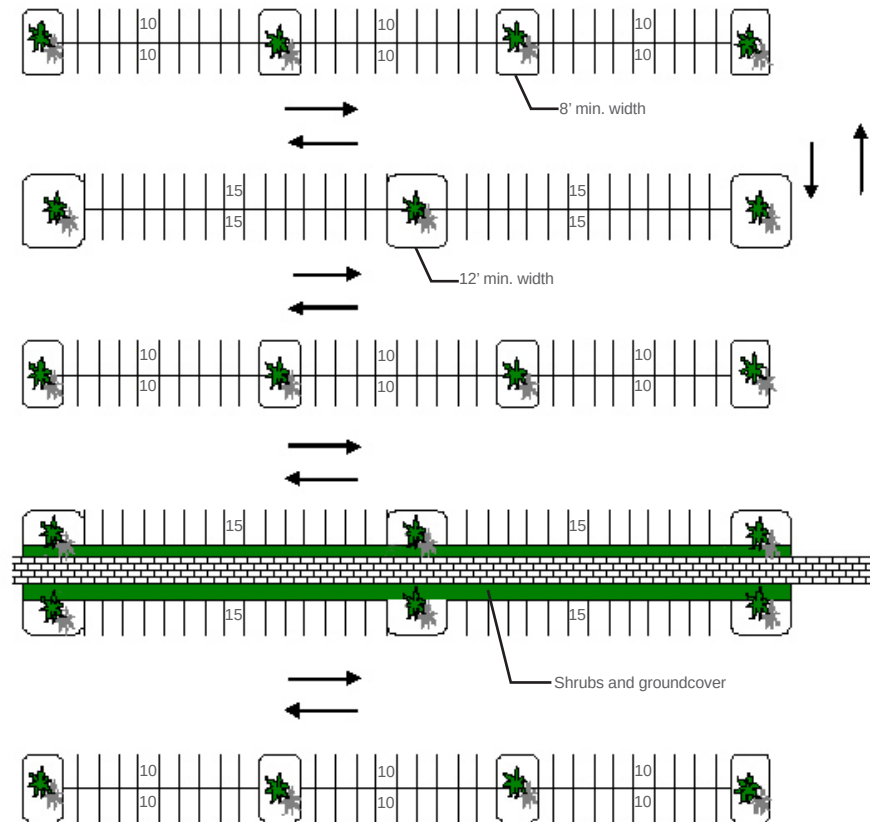


Figure 7.1: Landscape Regulations for Parking Islands and Landscape Strips

Alternative designs may be reviewed and approved by the WVRC.

All parking spaces shall provide either wheel stops or curbing, unless otherwise approved by the WVRC.

Where interior landscape areas abut the roadway, the roadway buffer may serve as the perimeter parking lot buffer. However, where the vehicle use area does not abut a roadway, the perimeter landscaping requirements shall be a minimum width of seven (7) feet containing two (2) canopy trees per one hundred (100) linear feet or substantial fraction thereof, and either shrubs, hedges, berms or fences or any combination thereof.

All landscaped buffer areas and sidewalks adjacent to off-street parking areas shall be protected from encroachment of vehicles with curbs and/or wheel stops, unless otherwise approved by the WVRC. Wheel stops and/or curbs shall have a minimum height of six (6) inches above finished grade of the parking area. Wheel stops shall be properly anchored. Where wheel stops are located two (2) feet from the front of a parking space, that two (2) feet is not required to be paved. However, the area between the wheel stop and the landscaped area shall be planted and irrigated with groundcovers and drip irrigation. Where wheel stops are not used, all landscape material, excluding sod/groundcover, shall be installed a minimum of two (2) feet from the face of curb. All parking spaces that abut landscaped areas or sidewalks within a parking lot shall have wheel stops or curb to prevent obstruction within the landscaped areas.

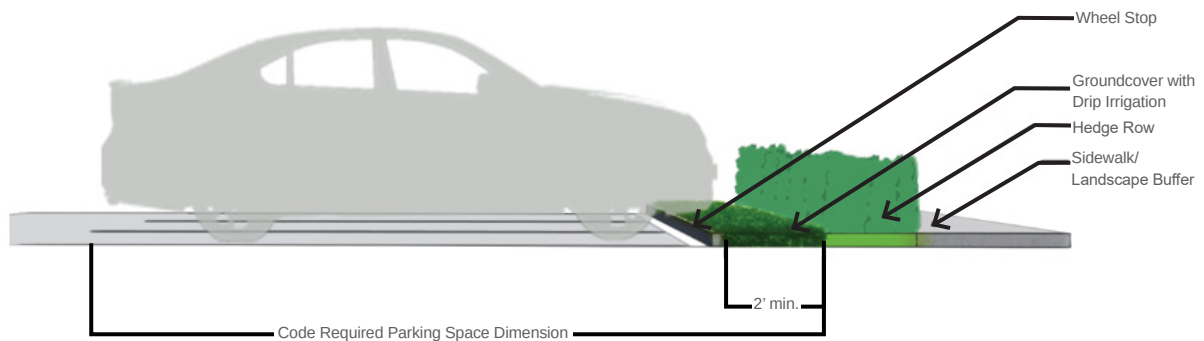


Figure 7.2: Landscape Requirements for Beds Adjacent to Wheel Stops/Curbs

Where landscape verges are located between parallel parking and sidewalks, a minimum four (4) foot wide paved surface must be provided for every two (2) parallel parking spaces provided. The paved surface will be perpendicular to the back of curb and the sidewalks main line of travel. Landscape verges will be planted with turf grass or groundcovers. Where trees are provided, a minimum five (5) feet wide verge will be provided for palm trees and an eight (8) feet wide verge will be provided for canopy trees and all plant material will be irrigated with drip irrigation.

All canopy trees planted within the parking field, buffers, and building perimeter landscaping shall count toward replacement tree mitigation.

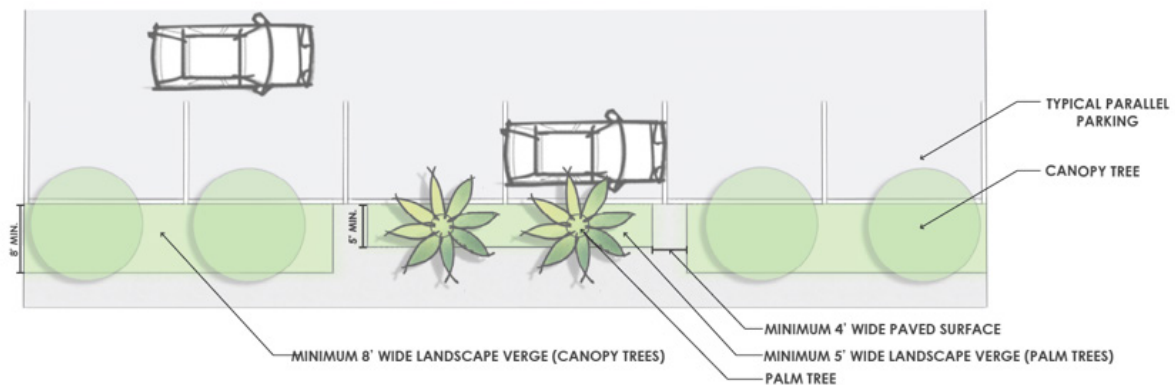


Figure 7.3: Landscape Adjacent to Parallel Parking

8. Building Perimeter Landscape Requirements

Foundation plantings shall provide visual breaks along monotonous building façades, provide direction to and enhance entrances, and be used or installed to screen mechanical equipment that is attached to or adjacent to the building.

To the extent possible, expanses of solid building wall area without architectural detail should be minimized. Where solid building wall area are without architectural detail, they may not exceed fifty (50) feet in length without being covered by landscape treatment unless the building wall faces an alley, the rear of another building or a loading/service area that is not facing a street or driveway, and is not visible to the public.

Fifty (50) percent of a blank wall that exceeds fifty (50) linear feet, and is visible to the public, shall either be covered or accentuated with planting areas near the foundation of the building that contain large maturing trees and shrubs/vines. Planting requirements shall be calculated as follows:

For every ten (10) feet beyond fifty (50) feet of blank wall, one (1) maturing canopy tree or palm cluster, and three (3) shrubs or vines shall be provided, and such materials should be planted within fifteen (15) feet of the façade. As an alternative, the required materials may be incorporated into the required foundation landscaping planting areas in those areas where the blank wall exists.

The Purchaser/Lessee is encouraged to employ creative design and include such amenities as earth mounding, water features, landscape lighting, various sidewalk materials and patterns, boulders, sculpture, etc. The design intent should be toward an entranceway that enhances and complements the building's architecture.

8.1 Minimum Planting Requirements (Commercial / Mixed-Use):

Calculation: One (1) foundation plant or shrub shall be required for every three (3) linear feet, and one (1) ornamental tree or palm shall be required for every thirty (30) linear feet of publicly visible façade (i.e. excluding alley / internal drive or loading area).

Location: Foundation landscaped areas shall be a minimum of seven (7) feet in width and shall contain a twelve (12) inches wide minimum paved or gravel strip immediately adjacent to building facade. To provide flexibility

to the developer, clustered foundation plantings are encouraged. When proposed, clustered planting locations shall occupy a minimum of twenty (20) percent of the total publicly visible facade length, and be located within thirty (30) feet of publicly visible façade. For buildings that are built to within ten (10) feet of internal roadways, no landscaping shall be required, but provided for in the Right-of-Way for those internal streets/entry drives, and consistent with roadway standards in the applicable VDPP.

8.2 Minimum Planting Requirements (Single-use Residential within Town Center/ Mixed-Use Areas):

Calculation: One foundation plant or shrub shall be required for every three (3) linear feet and one (1) ornamental tree or palm shall be required for every thirty (30) linear feet of all buildings.

Location (Single-use Residential within Mixed-Use Areas):

Foundation landscaped areas shall be a minimum of four (4) feet in width, and located within five (5) feet from the face of the building.

If plantings are clustered, they shall occupy a

minimum of fifty (50) percent of building facade length, and be located within fifteen (15) feet of the building.

For buildings that are built within ten (10) feet of internal roadways, no landscaping shall be required, but provided for in the Right-of-Way for those internal streets/entry drives, and consistent with roadway standards in the VDPP.

The transitional space between public and private space offers an opportunity to establish a “sense of arrival” through the use of specialty paving, plazas, decorative lighting, and site furnishings. The use of such elements shall be encouraged throughout the Village E Mixed-Use Areas.

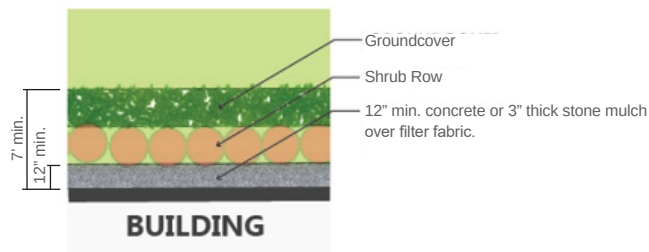


Figure 8.1: Landscaping Adjacent to Commercial/Mixed Use Building Types (Above)

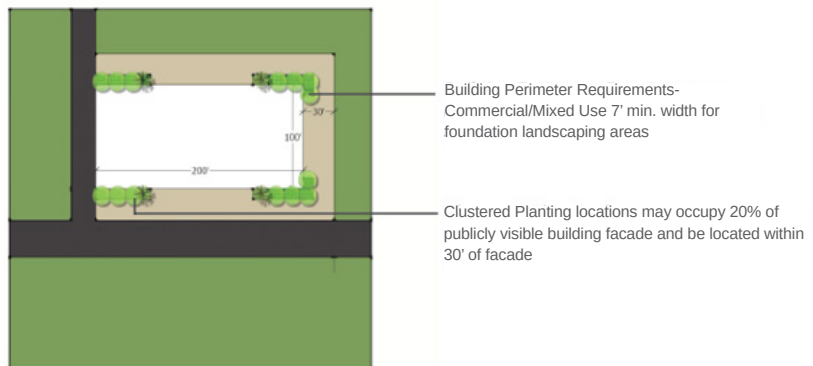


Figure 8.2: Building Perimeter Landscape Requirements Mixed Use / Commercial

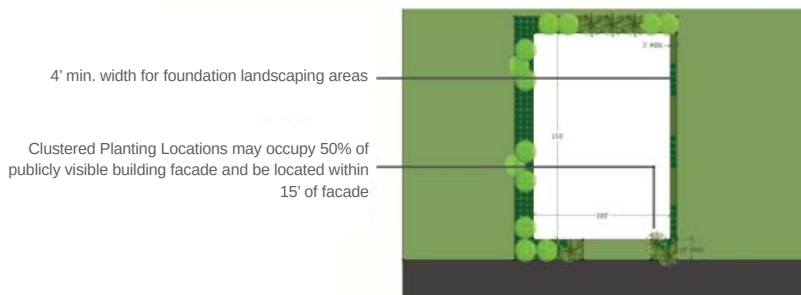


Figure 8.3: Building Perimeter Landscape Requirements Single-Use Residential (Above)

9. Screening

All structures and facilities for trash, storage, loading and outdoor equipment must be screened so as not to be visible from the street and pedestrian circulation areas. At a minimum, screening shall be either an opaque screen of evergreen shrubs and/or evergreen trees or by solid walls at least six (6) feet in height. Shrubs must be at least four (4) feet in height with a minimum two (2) foot spread and trees at least six (6) feet in height with a four (4) foot minimum spread at the time of building occupancy. Shrubs shall be spaced no further apart than three (3) feet and trees spaced at the most appropriate spacing for the species; but no further than twelve (12) feet on center. Walls should be designed to express the appropriate West Villages theme and be coordinated with the building architecture.



Appendix A: Preferred Plant List

Landscape Material General Requirements:

All plant materials shall be a minimum of Florida Number One as defined in the most current revision of Grades and Standards, as published by the Florida Department of Agriculture and Consumer Services. Immediately upon planting, trees shall be a minimum of eight (8) feet in height and shall have a minimum three (3) inch caliper measured at six (6) inches above ground level. Shrubs will be a minimum of 24" in height and groundcovers will be a minimum of 1-gallon containers at the time of installation. Reference section 45-19 – Priority Tree List of the City of North Port Unified Land Development Code for canopy potential at maturity for each species listed below:

STREET TREES

Common Name

Live Oak
Southern Magnolia

Scientific Name

Quercus virginiana
Magnolia grandiflora

CANOPY TREES

Common Name

Magnolia
Cypress
Laurel Oak
Live Oak
Red Maple
Sweet Gum
Slash Pine
Elm
Sycamore
Black Olive
Red Cedar
Wild Tamarind
Gumbo Limbo

Scientific Name

Magnolia grandiflora
Taxodium spp.
Quercus laurifolia
Quercus virginiana
Acer rubrum
Liquidambar styraciflua
Pinus elliotii
Ulmus spp.
Platanus occidentalis
Bucida buceras
Juniperus virginiana
Lysiloma latisiliquum
Bursera simaruba

SINGLE TRUNK PALMS

(cluster application)

Common Name

Cabbage Palm
Pindo Palm
Queen Palm
Washington Palm
Foxtail Palm

Scientific Name

Sabal palmetto
Butia capitata
Syagrus romanzoffiana
Washingtonia robusta
Wodyetia bifurcata

SINGLE TRUNK PALMS

(free standing application)

Common Name

Sylvester Date Palm
Royal Palm
Travelers Palm
Medjool Date Palm
Washingtonia Palm
Foxtail Palm
Pindo Palm
Chinese Fan Palm
Bismarck Palm

Scientific Name

Phoenix sylvestris
Roystonea elata
Ravenala madagascariensis
Phoenix dactylifera 'Medjool'
Washingtonia robusta
Wodyetia bifurcata
Butia capitata
Livistona chinensis
Bismarckia nobilis

MULTI-STEM PALMS

Common Name

Alexandra Palm
Areca Palm
Macarthur Palm
Paurotis Palm
Senegal Date Palm
Christmas Palm
Pygmy Date Palm

Scientific Name

Archontophoenix alexandrae
Dypsis lutescens
Ptychosperma macarthurii
Acoelorrhaphe wrightii
Phoenix reclinata
Adonidia merrillii
Phoenix roebelenii

ORNAMENTAL TREES/ACCENTS

Common Name

Crape Myrtle
Indian Hawthorn standard
Jacaranda
Oleander standard
Royal Poinciana
Pink Trumpet Tree
Golden Trumpet Tree
Tree Hibiscus
Weeping Bottlebrush (or regular)
Southern Red Cedar
Necklace Pod
Dahoon Holly
Loquat
Tree Ligustrum
Weeping Podocarpus
White Bird of Paradise
Jatropha
Wax Myrtle
Golden Shower

Scientific Name

Lagerstroemia indica
Raphiolepis Majestic Beauty
Jacaranda mimosifolia
Nerium oleander
Delonix regia
Tabebuia heterophylla
Tabebuia chrysotricha
Hibiscus spp.
Callistemon spp.
Juniperus silicicola
Sophora tomentosa
Ilex cassine
Eriobotrya japonica
Ligustrum japonica
Podocarpus gracilior
Strelitzia nicolai
Jatropha integerrima
Myrica cerifera
Cassia fistula

King Sago Palm
Tibouchina/Purple Glory Tree
European Fan Palm Giant Crinum Lily
Seagrape (Tree Form)
Silver Buttonwood (Tree Form)

SHRUBS

Common Name

Florida Privet
Pittosporum
Orange Bird of Paradise
Cardboard Palm
Gardenia
Giant Crinum Lily
Holly
Podocarpus
Silver Buttonwood
Viburnum
Hibiscus
Ixora
Oleander (dwarf or regular size)
Simpson Stopper
Anise
Bush Allamanda
Ligustrum
Beauty Berry
Variegated Ginger
Orange Jasmine
Peace Lily
Bamboo
Japanese Boxwood
Cocoplum
Firebush
Thryallis
Dwarf Schefflera
Pampas Grass
Philodendron
Plumbago
Saw Palmetto
Yucca
Canna Lily
Downy Jasmine
Shining Jasmine
Golden Dew Drop

Cycas revoluta
Tibouchina granulosa
Chamaerops humilis
Coccoloba uvifera
Conocarpus erectus sericeus

Scientific Name

Forestiera segregata
Pittosporum tobira
Strelitzia reginae
Zamia furfuracea
Gardenia spp.
Crinum spp.
Ilex spp.
Podocarpus spp.
Conocarpus erectus sericeus
Viburnum spp.
Hibiscus spp.
Ixora spp.
Nerium oleander
Myrcianthes fragrans
Illicium spp.
Allamanda neriifolia
Ligustrum japonicum
Callicarpa americana
Alpinia zerumbet 'variegata'
Chalcas Murraya paniculata
Spathiphyllum spp.
Bambusa spp. (non-invasive – clumping type only)
Buxus microphylla japonica
Chrysobalanus spp.
Hamelia patens
Galphimia glauca
Schefflera arboricola
Cortaderia selloana
Philodendron spp.
Plumbago auriculata
Serenoa repens
Yucca spp.
Cannas spp.
Jasminum multiflorum
Jasminum nitidum
Duranta erecta

GROUNDCOVER

Common Name

Blue Daze
Coontie
Natal Plum
Lily Turf
Perennial Peanut
Lily of the Nile
Daylily
Juniper
Lantana
Mexican Heather
Society Garlic
Flax Lily
African Iris
Holly Fern
Swordfern
Minima Jasmine (green or variegated)

Scientific Name

Evolvulus glomeratus
Zamia floridana
Carissa spp.
Liriope spp.
Arachis glabrata
Agapanthus africanus
Hemerocallis spp.
Juniperus spp.
Lantana spp.*
Cuphea hyssopifolia
Tulbaghia violacea
Dianella spp.
Dietes vegeta
Cyrtomium falcatum
Nephrolepis spp.*
Trachelospermum aslaticum 'minima'

VINES

Common Name

Cross Vine
Bougainvillea
Coral Honeysuckle
Confederate Jasmine (green or variegated)
Flame Vine
Passion Vine
Creeping Fig
Carolina Jessamine

Scientific Name

Bignonia capriolata
Bougainvillea spp.
Lonicera sempervivens
Trachelospermum jasminoides
Pyrostegia venusta
Passiflora incarnate
Ficus pumila (repens)
Gelsemium sempervivens

GRASSES

Common Name

Cordgrass
Fakahatchee Grass
Dwarf Fakahatchee Grass
Fountain Grass
Muhly Grass

Scientific Name

Spartina bakeri
Tripsacum dactyloides
Tripsacum floridana
Pennisetum setaceum
Muhlenbergia capillaries

*Excluding species listed on the Florida Exotic Pest Plant Council's (FLEPPC) list of invasive species.

Note: Plant species identified are not all inclusive and may be amended; Plant types and sizes may be substituted, depending on plant availability, as approved by the WVRC.