



STAT

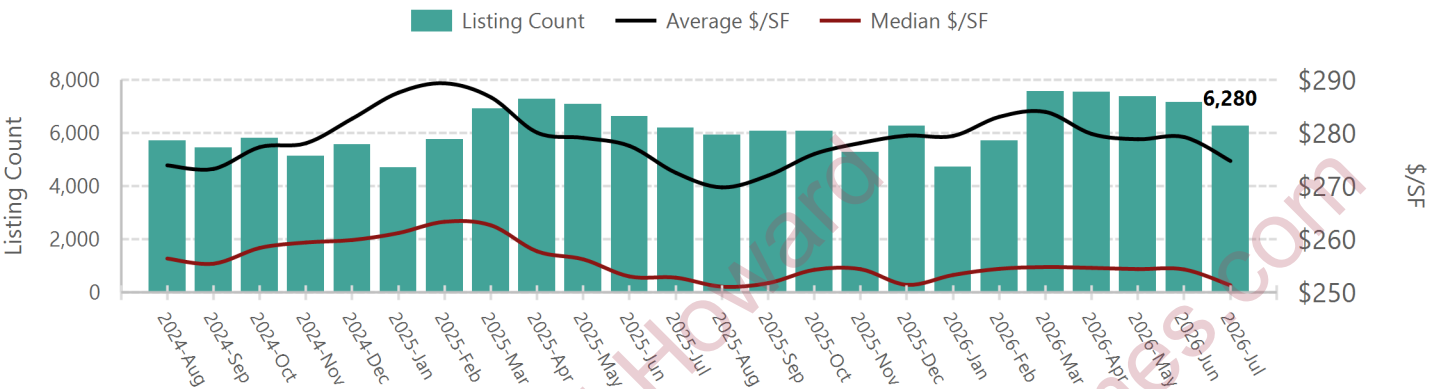
Your
Monthly Statistics

ARMLS®

DATA FOR July 2026

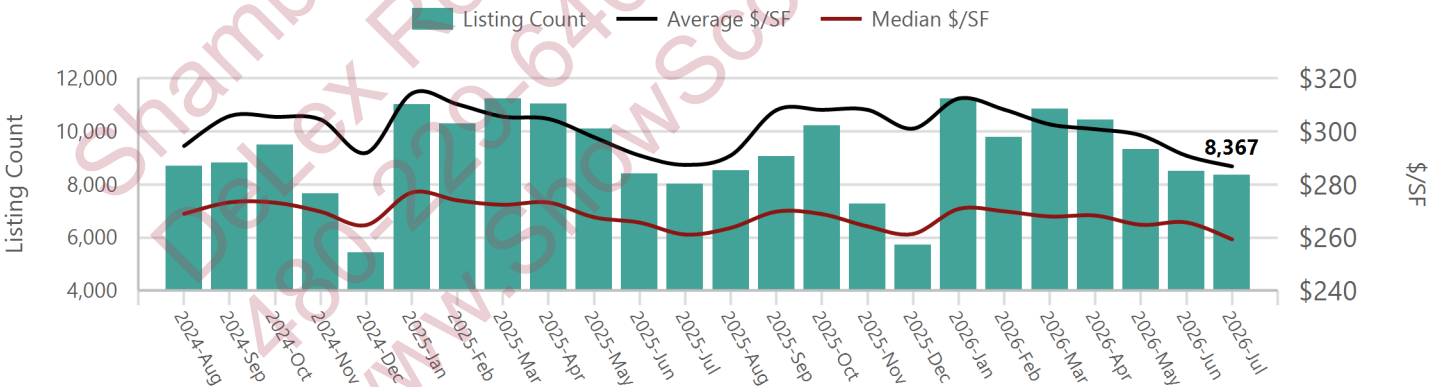
Published August 06, 2026

Sold Listings



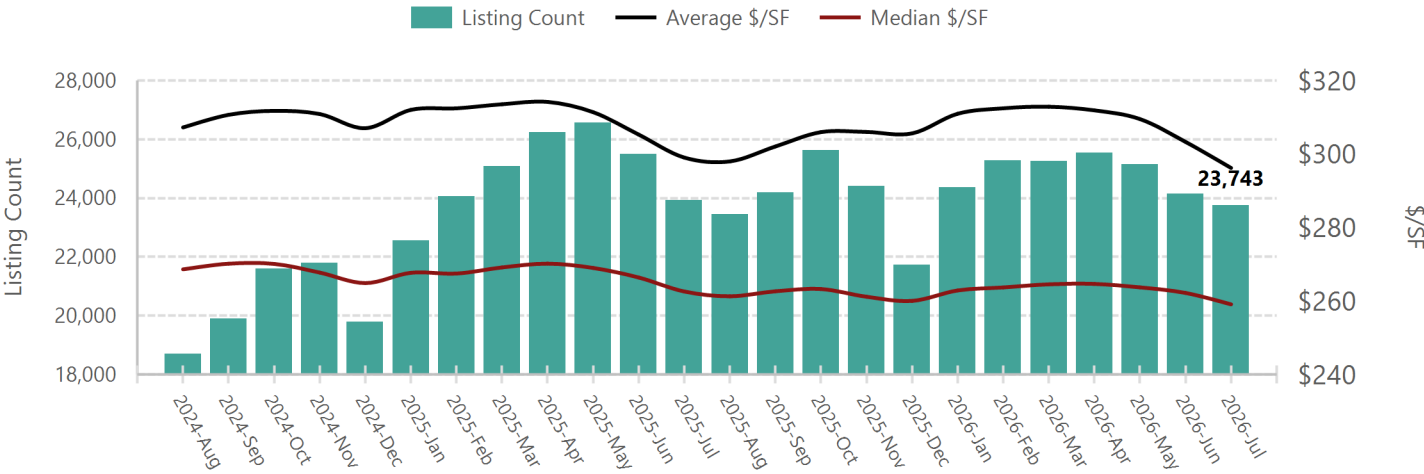
Metric	Monthly Values					Current Month Value vs Prior Monthly Values							
	Current	1M Pr	3M Pr	6M Pr	12M Pr	1M Pr	3M Pr	6M Pr	12M Pr				
Listings	6,280	7,156	7,543	4,727	6,210	-12.24%	▼	-16.74%	▼	32.85%	▲	1.13%	▲
Average \$/SF	\$274.78	\$279.28	\$279.86	\$279.48	\$272.55	-1.61%	▼	-1.82%	▼	-1.68%	▼	0.82%	▲
Median \$/SF	\$251.37	\$254.36	\$254.64	\$253.31	\$252.82	-1.18%	▼	-1.29%	▼	-0.77%	▼	-0.57%	▼

New Listings



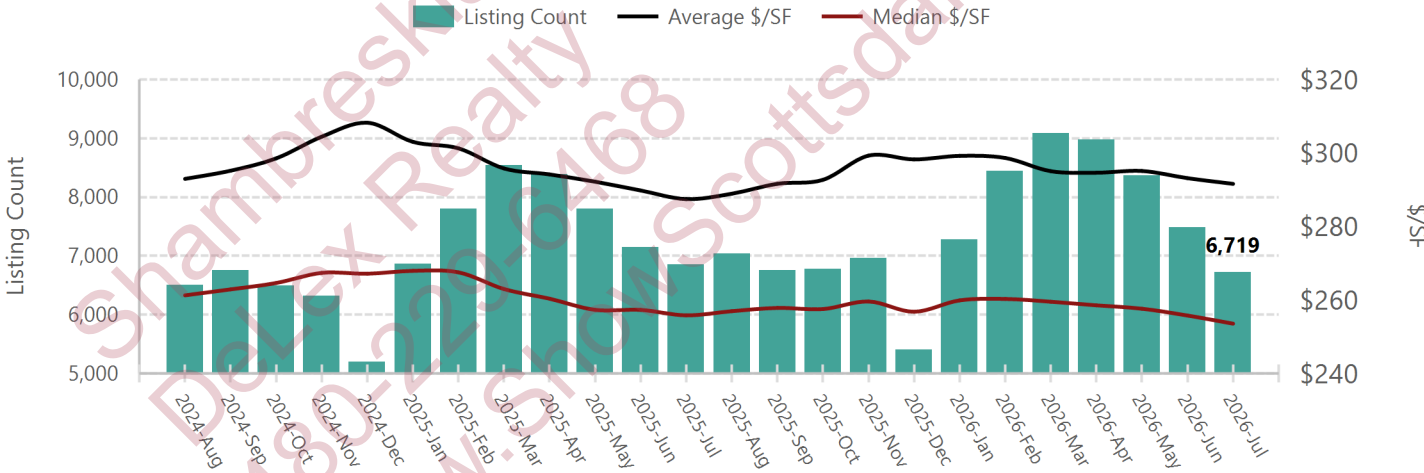
Metric	Monthly Values					Current Month Value vs Prior Monthly Values							
	Current	1M Pr	3M Pr	6M Pr	12M Pr	1M Pr	3M Pr	6M Pr	12M Pr				
Listings	8,367	8,511	10,434	11,239	8,015	-1.69%	▼	-19.81%	▼	-25.55%	▼	4.39%	▲
Average \$/SF	\$286.85	\$290.87	\$300.86	\$312.42	\$287.41	-1.38%	▼	-4.66%	▼	-8.19%	▼	-0.19%	▼
Median \$/SF	\$259.37	\$265.72	\$268.34	\$270.83	\$261.18	-2.39%	▼	-3.34%	▼	-4.23%	▼	-0.69%	▼

Active Listings (excluding UCB/CCBS)



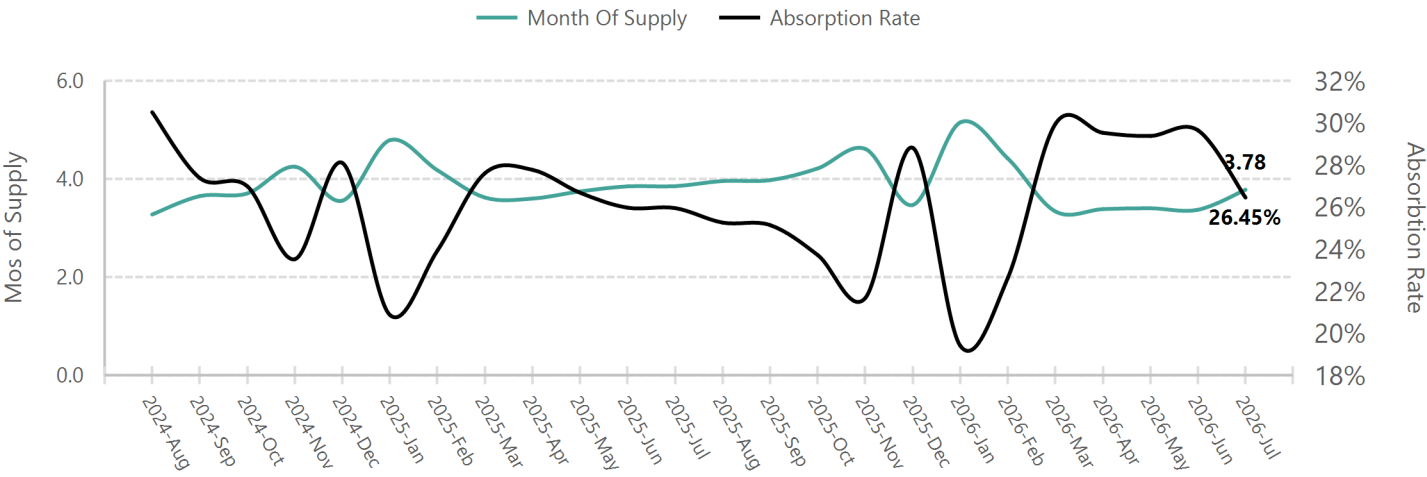
Metric	Monthly Values					Current Month Value vs Prior Monthly Values							
	Current	1M Pr	3M Pr	6M Pr	12M Pr	1M Pr		3M Pr		6M Pr		12M Pr	
Listings	23,743	24,137	25,545	24,363	23,932	-1.63%	▼	-7.05%	▼	-2.54%	▼	-0.79%	▼
Average \$/SF	\$296.23	\$303.32	\$311.91	\$310.98	\$299.05	-2.34%	▼	-5.03%	▼	-4.74%	▼	-0.94%	▼
Median \$/SF	\$259.10	\$262.20	\$264.65	\$262.88	\$262.60	-1.18%	▼	-2.10%	▼	-1.44%	▼	-1.33%	▼

Under Contract Listings (Pending/UCB/CCBS)



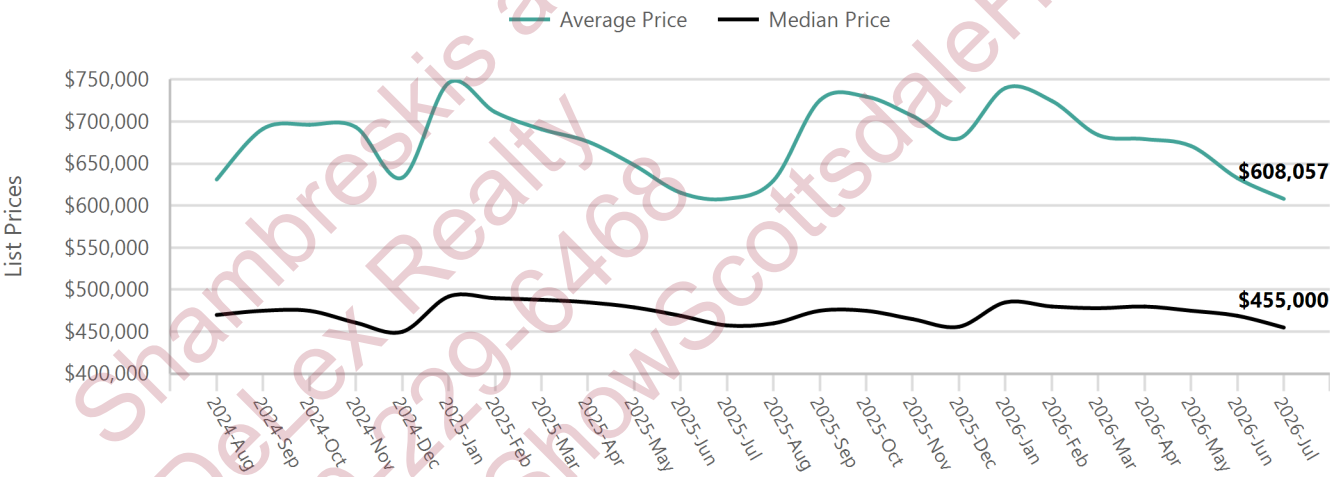
Metric	Monthly Values					Current Month Value vs Prior Monthly Values							
	Current	1M Pr	3M Pr	6M Pr	12M Pr	1M Pr		3M Pr		6M Pr		12M Pr	
Listings	6,719	7,484	8,980	7,282	6,856	-10.22%	▼	-25.18%	▼	-7.73%	▼	-2.00%	▼
Average \$/SF	\$291.62	\$293.17	\$294.65	\$299.25	\$287.47	-0.53%	▼	-1.03%	▼	-2.55%	▼	1.44%	▲
Median \$/SF	\$253.56	\$255.78	\$258.55	\$259.91	\$255.83	-0.87%	▼	-1.93%	▼	-2.44%	▼	-0.89%	▼

Month Of Supply/Absorbtion Rate



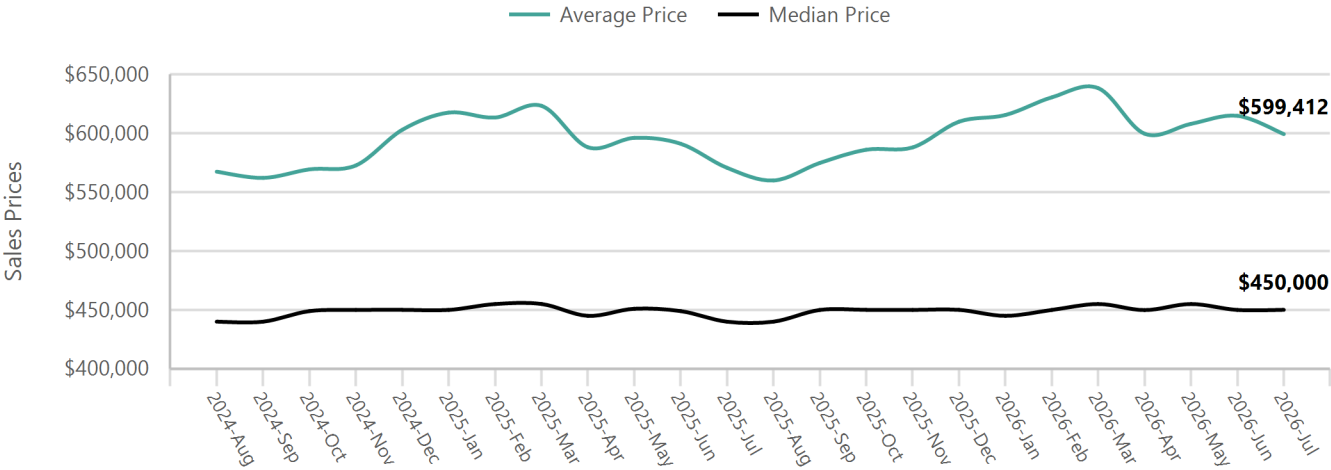
Metric	Monthly Values					Current Month Value vs Prior Monthly Values							
	Current	1M Pr	3M Pr	6M Pr	12M Pr	1M Pr		3M Pr		6M Pr		12M Pr	
Supply	3.78	3.37	3.39	5.15	3.85	12.09%	▲	11.64%	▲	-26.64%	▼	-1.90%	▼
Absorption Rate	26.45%	29.65%	29.53%	19.40%	25.95%	-10.79%	▼	-10.43%	▼	36.32%	▲	1.93%	▲

New List Prices



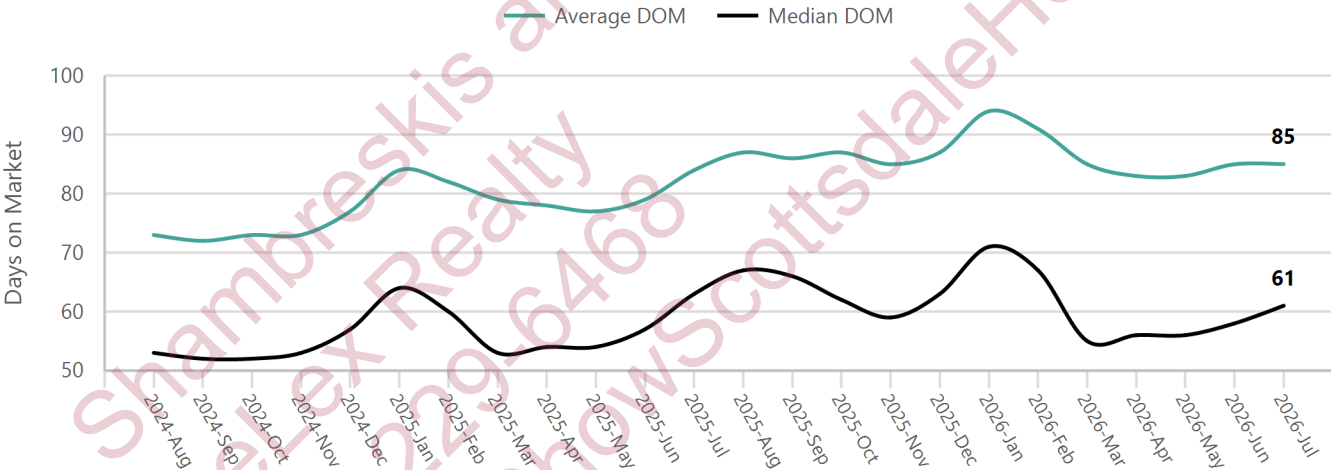
Metric	Monthly Values					Current Month Value vs Prior Monthly Values							
	Current	1M Pr	3M Pr	6M Pr	12M Pr	1M Pr		3M Pr		6M Pr		12M Pr	
Average List Price	\$608,057	\$632,715	\$679,202	\$739,921	\$608,208	-3.90%	▼	-10.47%	▼	-17.82%	▼	-0.02%	▼
Median List Price	\$455,000	\$469,000	\$480,000	\$485,000	\$457,490	-2.99%	▼	-5.21%	▼	-6.19%	▼	-0.54%	▼

Sales Prices



Metric	Monthly Values					Current Month Value vs Prior Monthly Values				
	Current	1M Pr	3M Pr	6M Pr	12M Pr	1M Pr	3M Pr	6M Pr	12M Pr	
Average Sales Price	\$599,412	\$614,947	\$599,710	\$615,623	\$570,751	-2.53% ▼	-0.05% ▼	-2.63% ▼	5.02% ▲	
Median Sales Price	\$450,000	\$450,000	\$449,900	\$445,000	\$440,000	0.00% ▬	0.02% ▲	1.12% ▲	2.27% ▲	

Days on Market



Metric	Monthly Values					Current Month Value vs Prior Monthly Values				
	Current	1M Pr	3M Pr	6M Pr	12M Pr	1M Pr	3M Pr	6M Pr	12M Pr	
Average DOM	85	85	83	94	84	0.00% ▬	2.41% ▲	-9.57% ▼	1.19% ▲	
Median DOM	61	58	56	71	63	5.17% ▲	8.93% ▲	-14.08% ▼	-3.17% ▼	

COMMENTARY by Paridhi Saboo

August 2026 STAT: A Closer Look at Above-List Price Sales

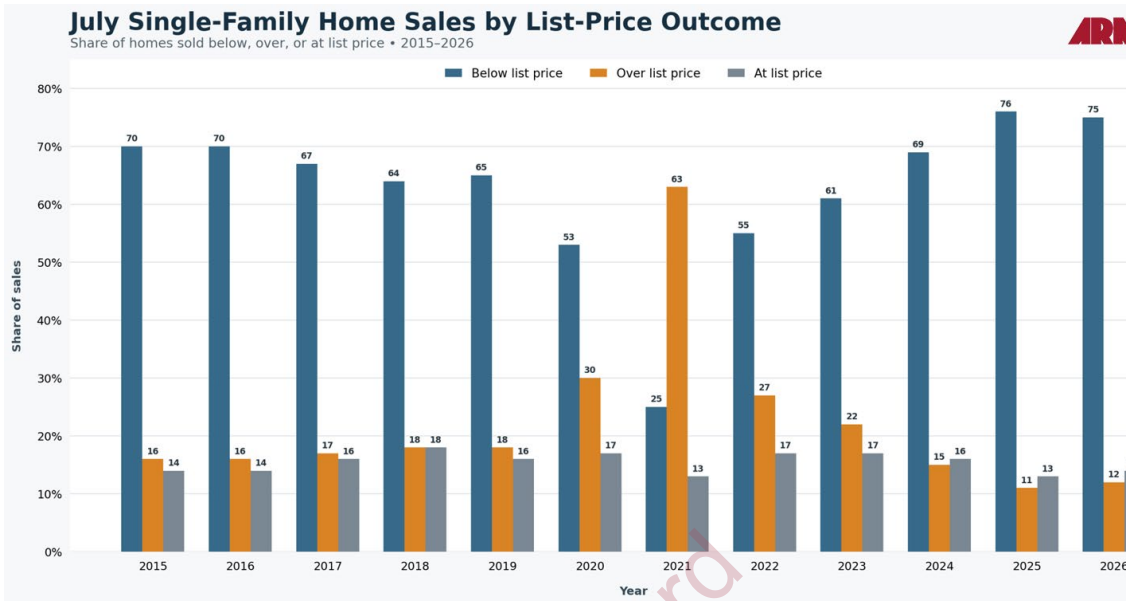
July single-family home sales improved 3% from last year, but the list-price outcome data shows why agents should be careful calling this a seller recovery. The market has more activity, yet most closings are still happening below the seller's original expectation.

Mortgage rates remain in the high 6% range, which keeps monthly payments elevated and limits how far buyers can stretch. At the same time, ARMLS has been reporting improving contract activity, lower year-over-year inventory and a slower pace of price declines. This combination creates a market that is better than last year, but still sensitive to price.

The 2021 comparison shows how different today's conditions are. In July 2021, 63% of single-family homes sold over original list price because the market had the opposite conditions: very low rates, extremely limited inventory and buyers competing aggressively.

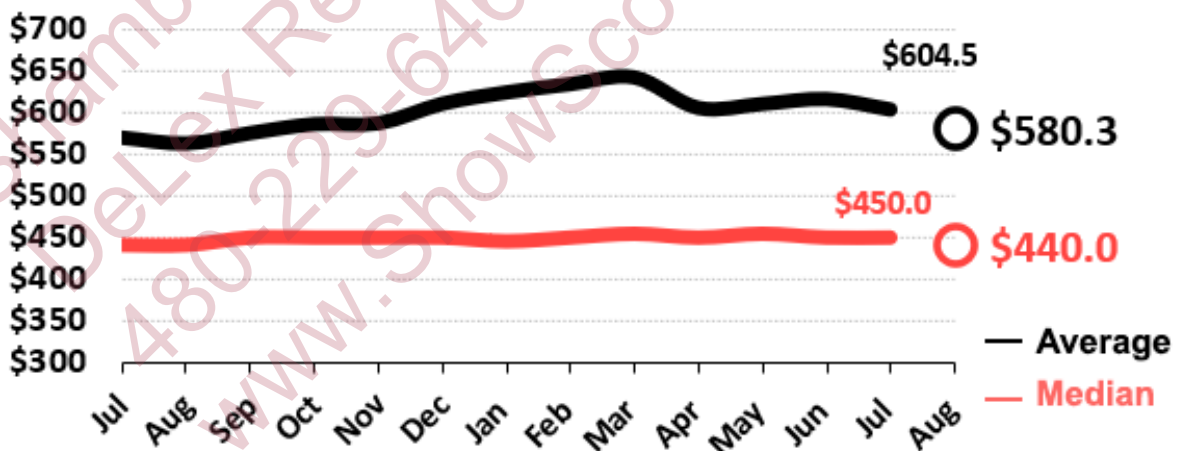
July 2026 list to sold price:

- 75% sold below original list price, almost unchanged from 76% in 2025.
- 12% sold above original list price, with a median close price of \$448,990.
- About 40% of above-list sales were under \$400,000, showing competition is still most visible in attainable price ranges.
- Above list closings were most concentrated in Phoenix, followed by San Tan Valley, Surprise and Mesa.
- 14% sold at list, showing that accurate pricing can still hold when the property matches buyer expectations.



Takeaway: For listing agents, this is a strong pricing conversation starter. Seller motivation and pricing accuracy matter more than optimism. A listing that starts too high is likely to need a reduction before buyers respond. For buyer agents, the below list trend creates room to negotiate, but the under \$400K segment may still require speed, clean terms and realistic expectations.

Sales Price Forecast



August AVG. Sales Price Forecast: \$580.3

Down from July Average Sales of \$604.5

August MED. Sales Price Forecast: \$440.0

Down from July Median Sales of \$450.0