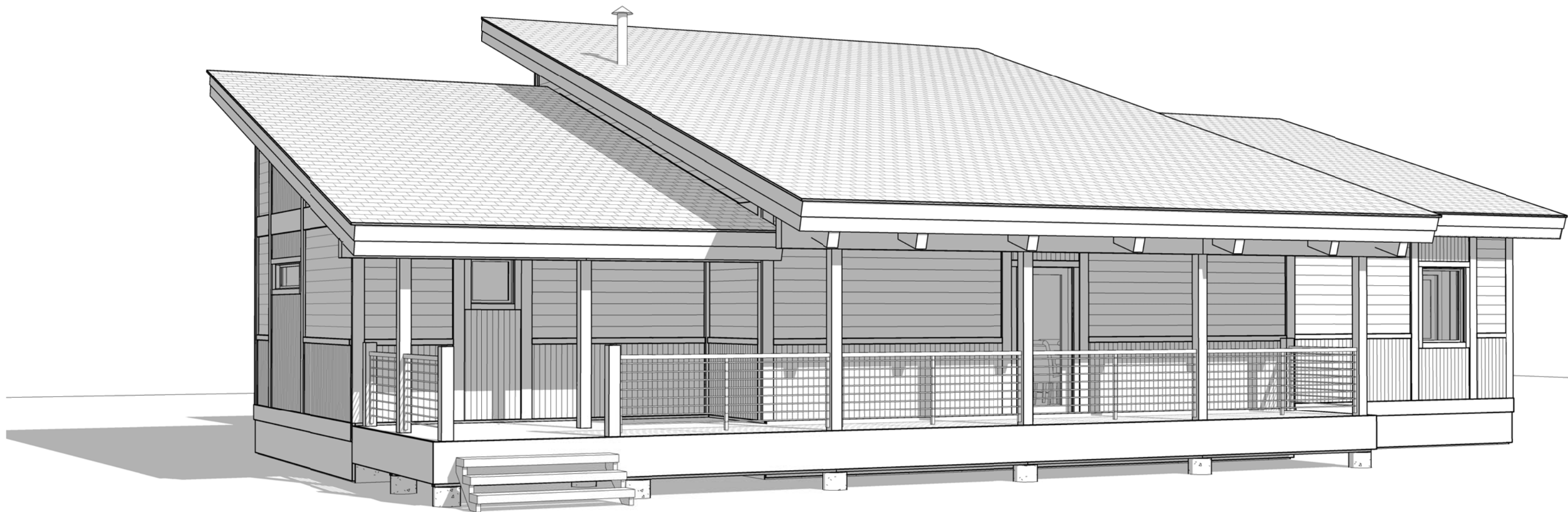




Whisper Creek

By Rocky Mountain Homes



AREA SCHEDULE	
NAME	AREA
HEATED	
BASEMENT	1 520 SF
MAIN LIVING	1 520 SF
	3040 SF

SHEET LIST	
SHEET#	SHEET NAME
A0.0	COVER SHEET
ARCHITECTURAL	
A1.0	BASEMENT PLAN
A1.1	MAIN FLOOR PLAN
A2.0	FRONT & RIGHT ELEVATION
A2.1	BACK & LEFT ELEVATION
A3.0	SCHEDULES
A4.0	COMPONENT ISOMETRIC

NOTE: WHISPER CREEK LOG HOMES (WCLH) ARE CONSTRUCTED USING NATURAL WOOD PRODUCTS SUBJECT TO DECAY, MAINTENANCE METHODS AND PROCEDURES SET FORTH BY WCLH DOES NOT WARRANTY COMPONENTS INSTALLED LESS THAN 24 INCHES FROM THE GROUND. ANY MATERIAL OR COMPONENTS NOT SPECIFICALLY LISTED IN CONTRACT WITH WCLH ARE TO BE PROVIDED BY THE OWNER CONTRACTOR.

DESIGN CRITERIA

GOVERNING CODES

2015 INTERNATIONAL RESIDENTIAL CODE (IRC)
ASCE/SEI 7-05 MIN DESIGN LOADS FOR BUILDING AND OTHER STRUCTURES

LOADINGS

FLOOR	DEAD LOAD	12 PSF
	LIVE LOAD	40 PSF
ROOF	DEAD LOAD	15 PSF
	LIVE (SNOW) LOAD	
	GROUND LOAD	130 PSF
	FLAT ROOF	100 PSF
	EXPOSURE FACTOR	Ce = 1.0
	THERMAL FACTOR	
	IMPORTANCE FACTOR	
	WARM COLD	Ct = 1.1 Ct = 1.1 Is = 1.0

WIND DESIGN

ULTIMATE WIND SPEED	115 MPH
IMPORTANCE FACTOR	Iw = 1.0
EXPOSURE	C

SEISMIC

SEISMIC DESIGN CATEGORY	B
-------------------------	---

FROST DEPTH

SOIL

GEOTECHNICAL STUDY	NOT AVAILABLE FOR DESIGN
ALLOWABLE BEARING	1,500 PSF
SITE CLASS	D

WCLH DESIGN
CRITERIA
C

ATTENTION:

- SITE PLANS: SITE PLANS SHALL BE PREPARED AND SUBMITTED BY THE OWNER CONTRACTOR AS REQD BY THE LOCAL JURISDICTION. ITEMS REQUIRED AND SHOWN MAY INCLUDE BUT ARE NOT LIMITED TO; IDENTIFICATION AND LOCATION OF ALL BUILDINGS, EXISTING AND PROPOSED, LABEL ALL EXISTING AND PROPOSED STREETS, EASEMENTS, FLOOD PLAINS AND ADJACENT PROPERTY LINES (FRONT, REAR, & SIDES.).
- FIRE RESISTIVE CONSTRUCTION: FIRE RESISTIVE CONSTRUCTION AND/OR FIRE SPRINKLER SYSTEMS NOT ADDRESSED ON THESE PLANS AND REQUIRED BY THE LOCAL JURISDICTION AND ADOPTED CODES ARE THE RESPONSIBILITY OF THE OWNER/CONTRACTOR.
- LATERAL DESIGN: BECAUSE OF THE RANDOM AND UNPREDICTABLE NATURE OF WIND AND EARTHQUAKE LOADING EVEN A RELATIVELY COMPLETE ANALYSIS, METHODOLOGY, AND DESIGN CANNOT ENSURE THAT THERE WILL BE NO DAMAGE TO STRUCTURES DURING MAJOR EVENTS. local ADOPTED CODES ARE BASED ON LIFE SAFETY AND NOT "DAMAGE PROOFING". IT IS EXTREMELY IMPORTANT THAT ATTENTION BE PAID TO THE PLACEMENT OF REINFORCING, HOLDDOWN EMBEDS, ETC. IN THE FOUNDATIONS, NAILING OF VERTICAL AND HORIZONTAL SHEATHING (WALLS, FLOORS, AND ROOF) AND TO DETAILING SHOWN ON THE PLANS. PROPER IMPLEMENTATION IS REQUIRED TO ENSURE THE DESIRED DESIGN RESPONSE.
- MODIFICATIONS: STRUCTURAL MODIFICATIONS TO PLANS, FRAMING AND LOADING (DIMENSIONS, MATERIALS, DETAILS, LOCATION AND/ OR SIZE OF OPENINGS IN WALLS, HOT TUB LOADING, ETC.) FROM THAT SHOWN ON THE WCLH PLANS CAN ALTER THE STRUCTURAL PERFORMANCE AND WILL VOID ANY LIABILITY BY WCLH OR A/EOR, WITHOUT ADDITIONAL REVIEW AND ANALYSIS AND PRIOR WRITTEN APPROVAL. NEW AND RELOCATED LOADS CAN CAUSE EXCESSIVE DEFLECTION AND EVEN STRUCTURAL FAILURE. INCREASING THE SIZE, NUMBER OR LOCATION OF OPENINGS IN SHEAR WALLS CAN VARY THE LOADING ON SHEAR PANELS BEYOND THEIR LOAD CARRYING CAPACITIES. the OWNER AND CONTRACTOR SHALL CAREFULLY REVIEW PLANS AND SPECIFICATIONS PRIOR TO INITIATION OF CONSTRUCTION.
- SOILS INVESTIGATION: WHERE REQUIRED BY THE LOCAL SITE CONDITIONS OR JURISDICTION A GEOTECHNICAL INVESTIGATION (SOILS REPORT) SHALL BE PREPARED BY A QUALIFIED PROFESSIONAL AND SUBMITTED TO THE A/EOR BY THE OWNER/CONTRACTOR FOR REVIEW AND INCORPORATED INTO THE DESIGN. WHEN EXPANSIVE OR COLLAPSE SENSITIVE SOILS ARE PRESENT SPECIAL PROVISIONS MAY BE REQUIRED IN THE FOUNDATION DESIGN. ADDITIONAL FEES WILL BE WARRANTED.

SHEET TITLE
COVER SHEET

PLAN NO.:
7014-000
SHEET NO.:
A0.0



Whisper Creek
By Rocky Mountain Homes

1883 Highway 93 South
Hamilton, MT 59840
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fx. 406.363.6537
wclhdesign@rmh.com

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BID SET

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No.	By:	Date:

PROJECT NAME:
SUMMIT

OWNER:

ADDRESS:

DRAWING TITLE:
COVER SHEET

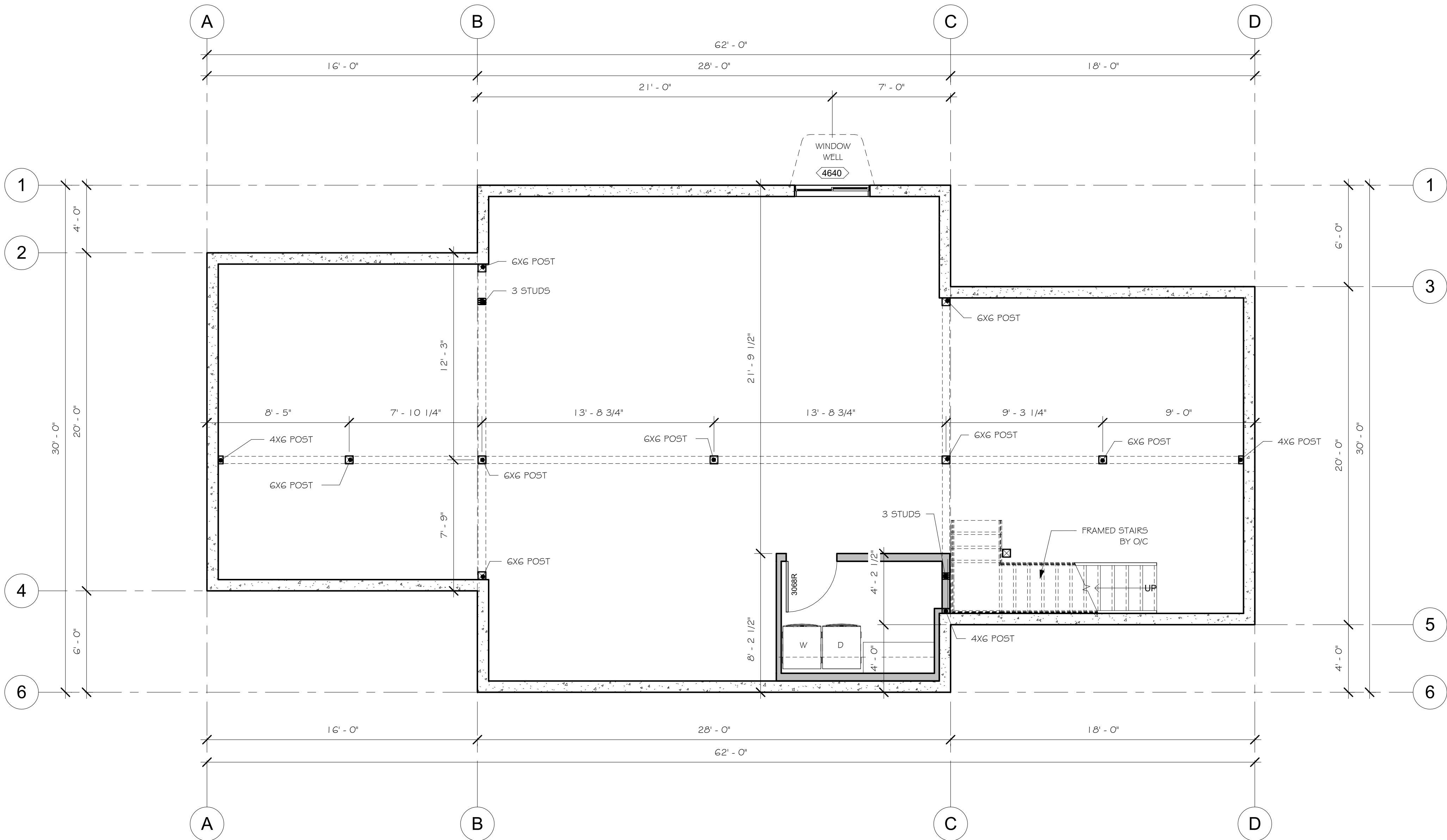
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	CHECKED BY: MANAGER	
	DATE: 12/1/2017 2:14:59 PM	
	SHEET NO.: A0.0	

BASEMENT NOTES

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS & CONDITIONS SHOWN ON THESE PLANS AND W/ BUILDING SITE PRIOR TO COMMENCING ANY WORK ON PROJECT.
2. ALL EXTERIOR WALLS ARE DIMENSIONED TO THE FACE OF SHEATHING OR FOUNDATION. ALL INTERIOR WALLS ARE DIMENSIONED TO THE FACE OF STUDS.
3. PROVIDE WINDOW WELLS AS REQUIRED BY FINISH GRADE. (CONTRACTOR TO VERIFY). SEE WINDOW WELL DETAIL.
4. BASEMENTS ENCLOSING CONDITIONED SPACE SHALL BE INSULATED.
5. UNFINISHED AND FINISHED SPACES SHALL BE SEPARATED BY A DOOR.

ABBREVIATIONS

- O/C INDICATES BUILDING COMPONENT PROVIDED BY OWNER/CONTRACTOR
- WC INDICATES BUILDING COMPONENT PROVIDED BY WHISPER CREEK LOG HOMES
- A/EOR INDICATES ARCHITECT/ENGINEER OF RECORD



BASEMENT
1/4" = 1'-0"

SHEET TITLE

BASEMENT PLAN

PLAN NO.:

7014-000

SHEET NO.:

A1.0

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By Rocky Mountain Homes

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BID SET

REVISIONS		
No.	By:	Date:

PROJECT NAME:
SUMMIT

OWNER:

ADDRESS:

DRAWING TITLE:
BASEMENT PLAN

PLAN NO.:

7014-000

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JCF

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DATE:

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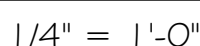
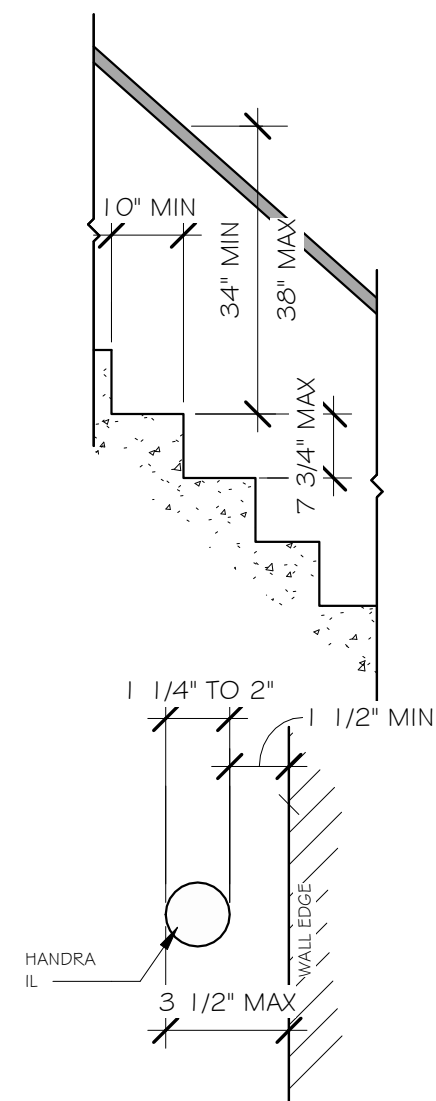
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2. ALL EXTERIOR WALLS ARE DIMENSIONED TO THE FACE OF SHEATHING OR FOUNDATION. ALL INTERIOR WALLS ARE DIMENSIONED TO THE FACE OF STUDS.
3. THERE SHALL BE A FLOOR OR LANDING ON EACH SIDE OF EXTERIOR DOORS. WIDTH NOT LESS THAN THE DOOR SWEPT. MIN DIMENSION 36 INCH MEASURED IN THE DIRECTION OF TRAVEL.

O/C	INDICATES BUILDING COMPONENT PROVIDED BY OWNER/CONTRACTOR
WC	INDICATES BUILDING COMPONENT PROVIDED BY WHISPER CREEK LOG HOMES
A/EOR	INDICATES ARCHITECT/ENGINEER OF RECORD

1. STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN WIDTH.
2. THE RISE OF STEPS SHALL NOT BE LESS THAN 4 INCHES OR GREATER THAN 7-3/4 INCHES. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH.
3. THE RUN SHALL NOT BE LESS THAN 11 INCHES AS MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FURTHER MOST PROJECTION OF ADJACENT TREADS. THE LARGEST TREAD RUN WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY 3/8 INCH.
4. WINDER TREADS SHALL HAVE A MINIMUM OF TREAD DEPTH OF 10" MEASURED AT A POINT 12" FROM THE NARROW SIDE OF THE TREAD, AND HAVE A MINIMUM DEPTH OF 6". WITHIN ANY FLIGHT OF STAIRS THE GREATEST WINDER TREAD DEPTH AT THE 12" WALK LINE SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8".

1. 36" (MIN) HIGH GUARDRAILS ARE REQUIRED FOR UNENCLOSED FLOOR AND ROOF OPENINGS, OPEN AND GLAZED SIDES OF STAIRWAYS, LANDINGS, DECKS, RAMPS, AND PORCHES, WHICH ARE MORE THAN 30 INCHES ABOVE GRADE OR A FLOOR OR OTHER SURFACE BELOW.
2. OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAIL SPACING OR PATTERN SUCH THAT A 4-INCH SPHERE CANNOT PASS THROUGH AND THE TRIANGULAR AREA FORMED BY TREAD, RISER AND GUARDRAIL SO THAT 6-INCH SPHERE CANNOT PASS THROUGH

1. RESIDENTIAL STAIRS REQUIRE HANDRAILS ON A MINIMUM OF ONE SIDE.
2. HANDRAIL SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS WITH ENDS RETURNED TO NEWEL POST OR WALL.
3. THE HANDGRIP PORTION OF THE HANDRAILS SHALL NOT BE LESS THAN 1 1/4" INCHES NOR MORE THAN 2 INCHES IN CROSS-SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE, THE ANDGRIP PORTION OF THE HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS. HANDRAILS PROJECTION FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2 INCHES BETWEEN THE HANDRAIL AND ANY ABUTTING CONSTRUCTION SO AS TO AVOID INJURY TO FINGERS.



PLAN NO.:

7014-000

A1.1



Whisper Creek

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REVISIONS

No.	By:	Date:

PROJECT NAME:

SUMMIT

OWNER

ADDRESS:

DRAWING TITLE:

MAIN FLOOR PLAN

PROJECT NO.:

DRAWN BY: ICF

CHECKED BY:

DATE: _____

SHEET NO.:

A1.1

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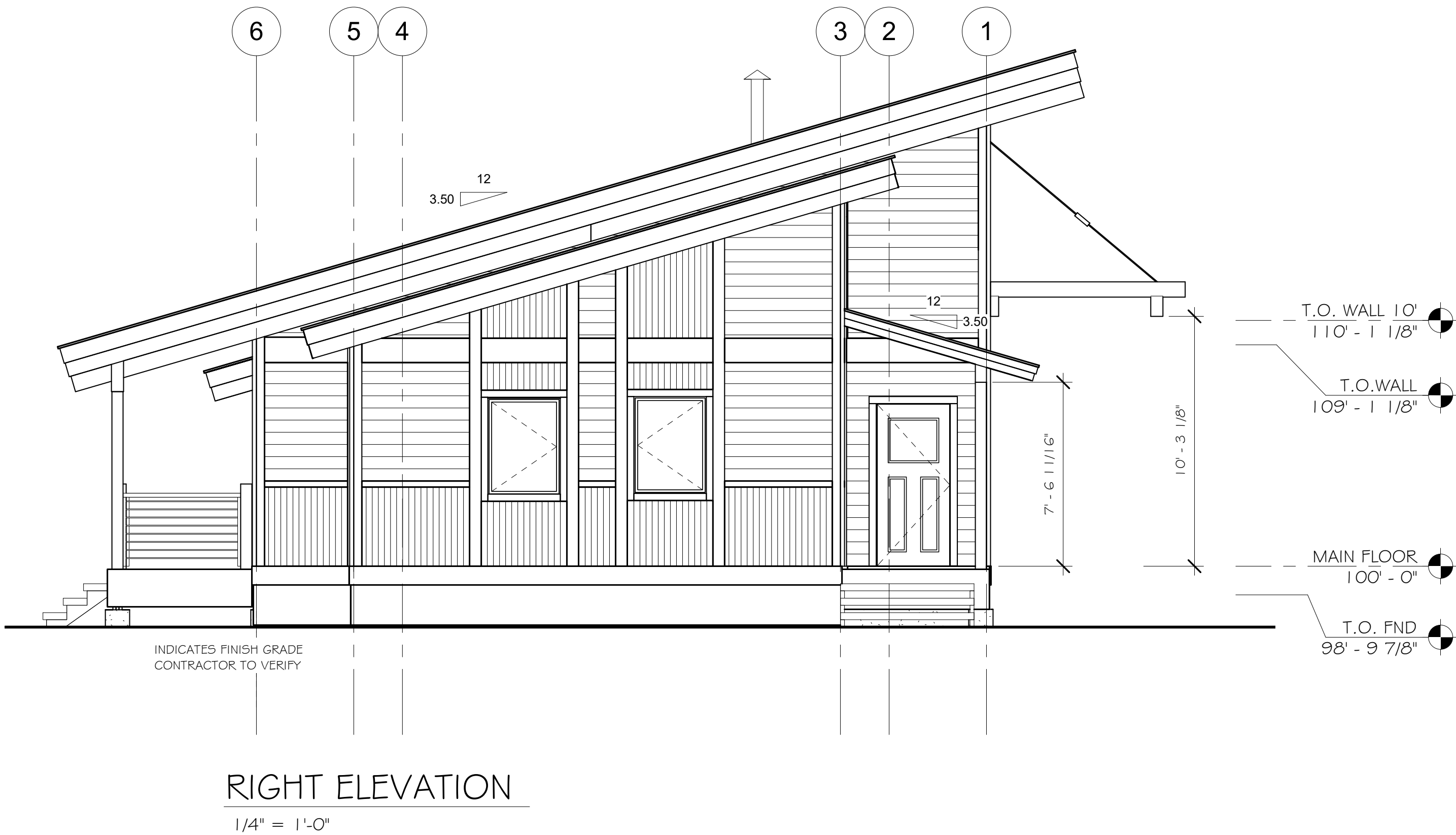
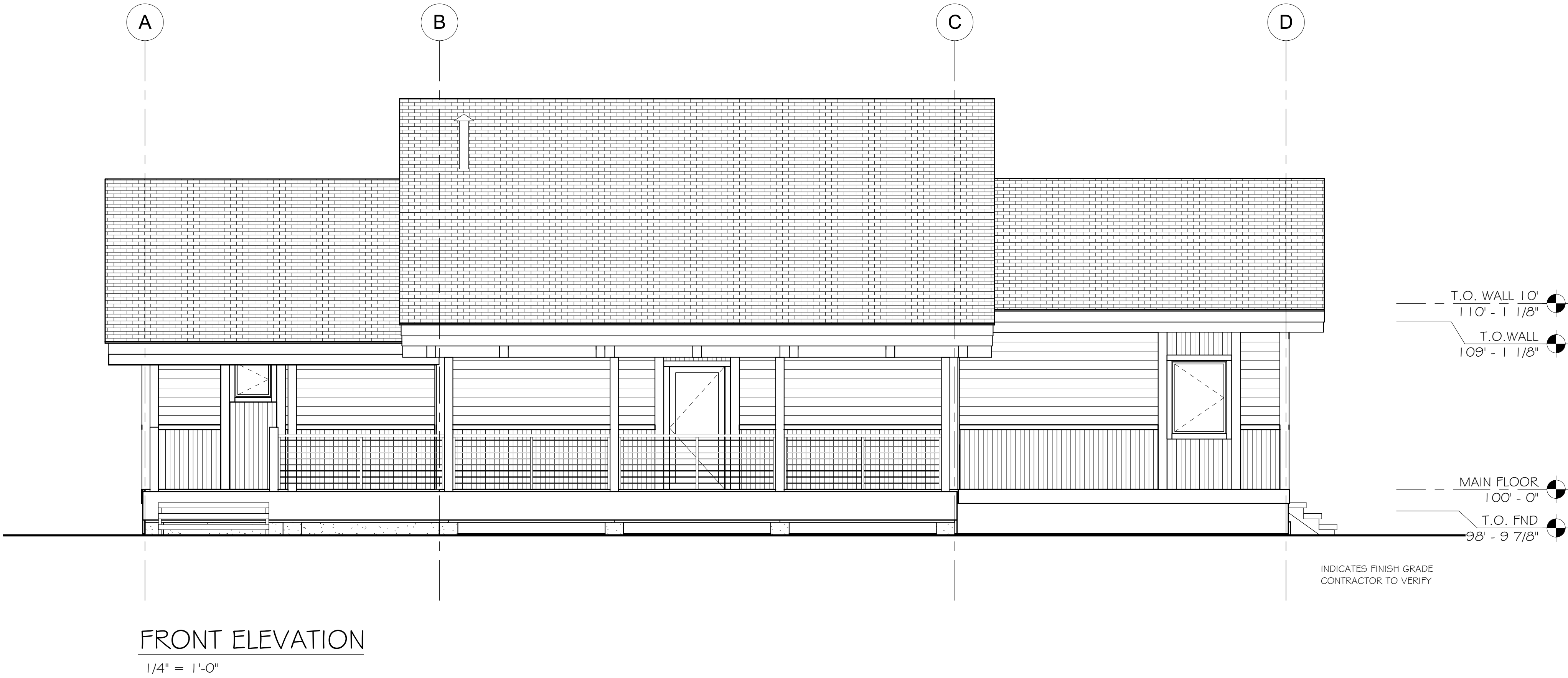
BID SET - NOT FOR CONSTRUCTION

ELEVATION NOTES

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3. LOTS SHALL BE GRADED TO DRAW SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.
4. CONTRACTOR TO INSTALL SNOW STOPS ON ROOF.

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SHEET TITLE
**FRONT & RIGHT
ELEVATION**

SHEET NO.
A2.0

PLAN NO.:
7014-000

Whisper Creek
By Rocky Mountain Homes

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BID SET

REVISIONS			
No.	By:	Date:	

PROJECT NAME:

SUMMIT

OWNER:

ADDRESS:

DRAWING TITLE:

**FRONT & RIGHT
ELEVATION**

PLAN NO.:
7014-000

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JCF

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MANAGER

DATE:
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SHEET NO.:
A2.0

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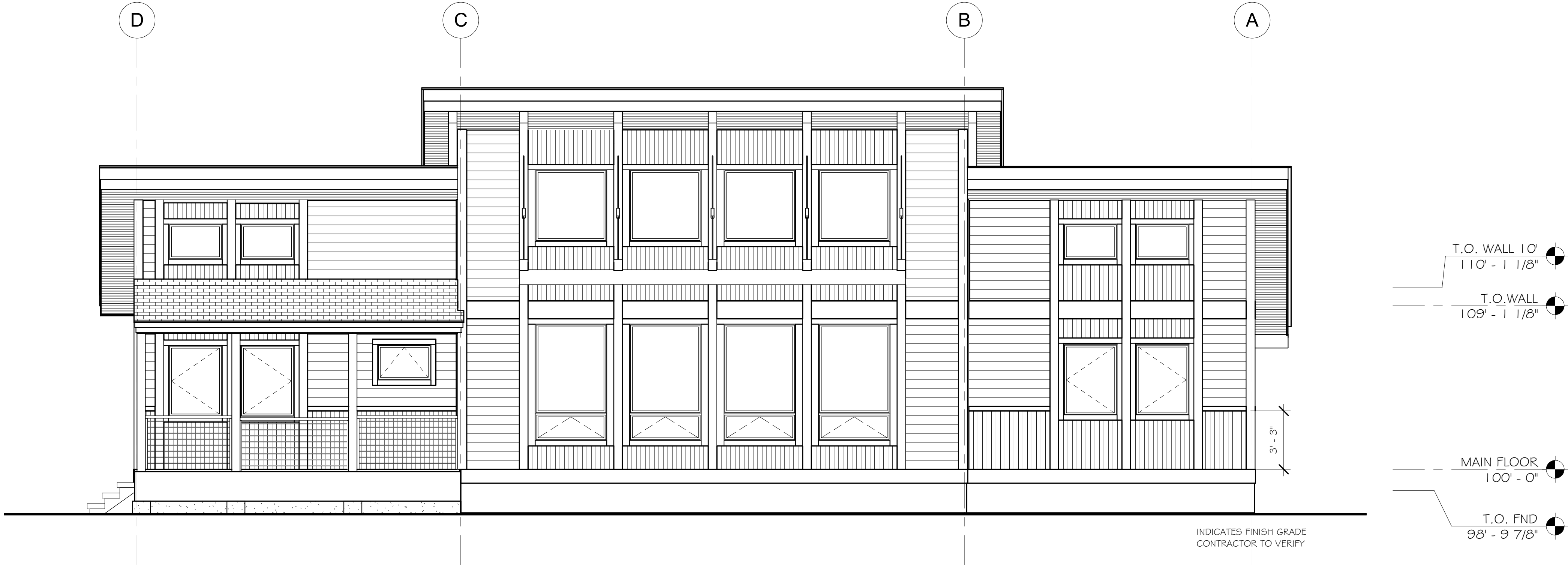
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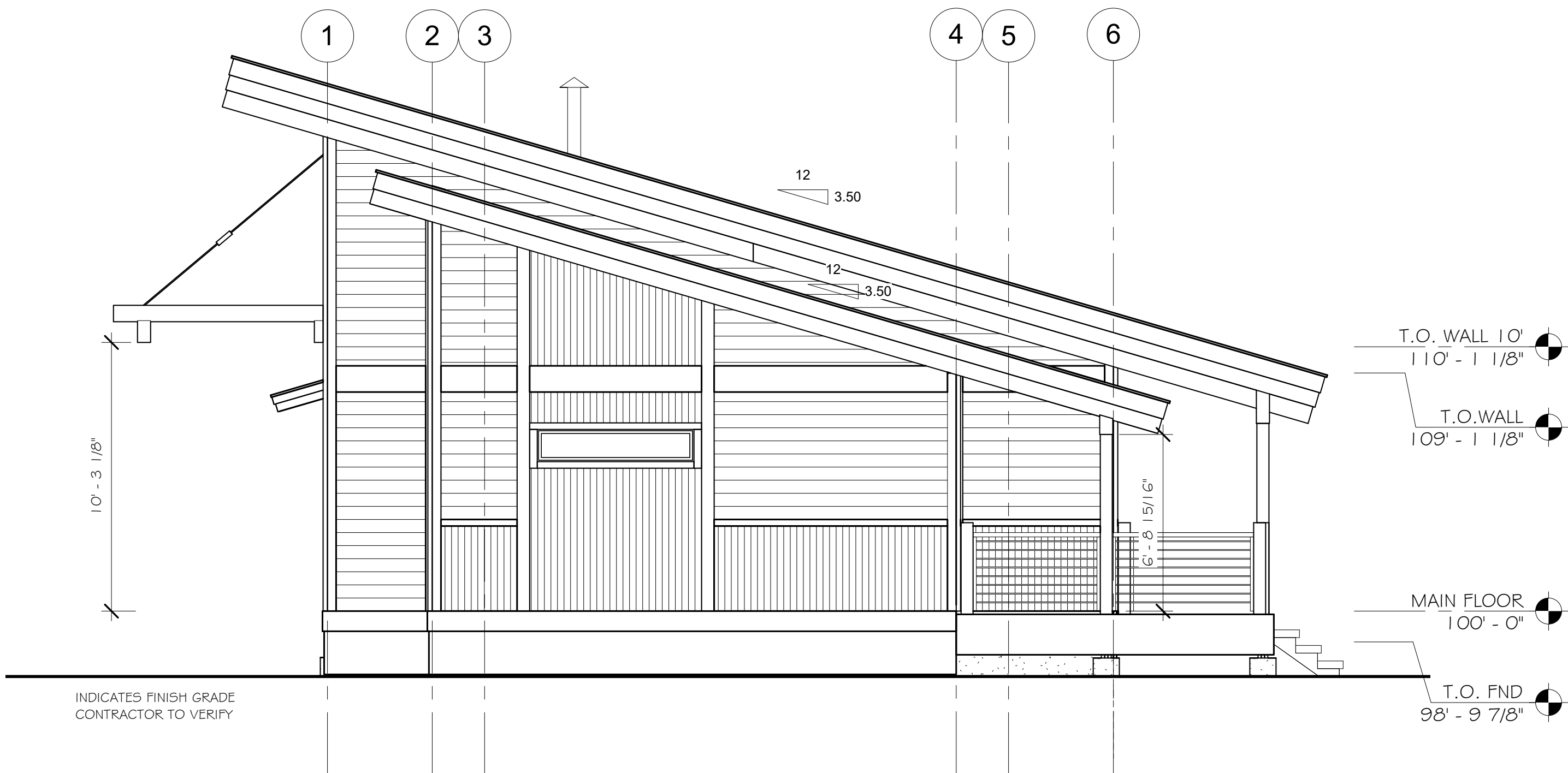
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BACK ELEVATION

1/4" = 1'-0"



LEFT ELEVATION

1/4" = 1'-0"

SHEET TITLE
**BACK & LEFT
ELEVATION**

SHEET NO.
A2.1

PLAN NO.:
7014-000

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No.	By:	Date:	

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DRAWING TITLE:

**BACK & LEFT
ELEVATION**

PLAN NO.:
7014-000

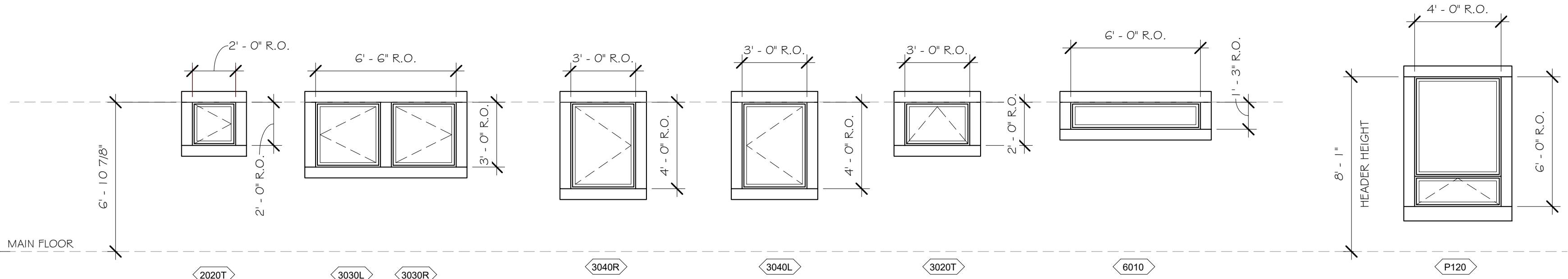
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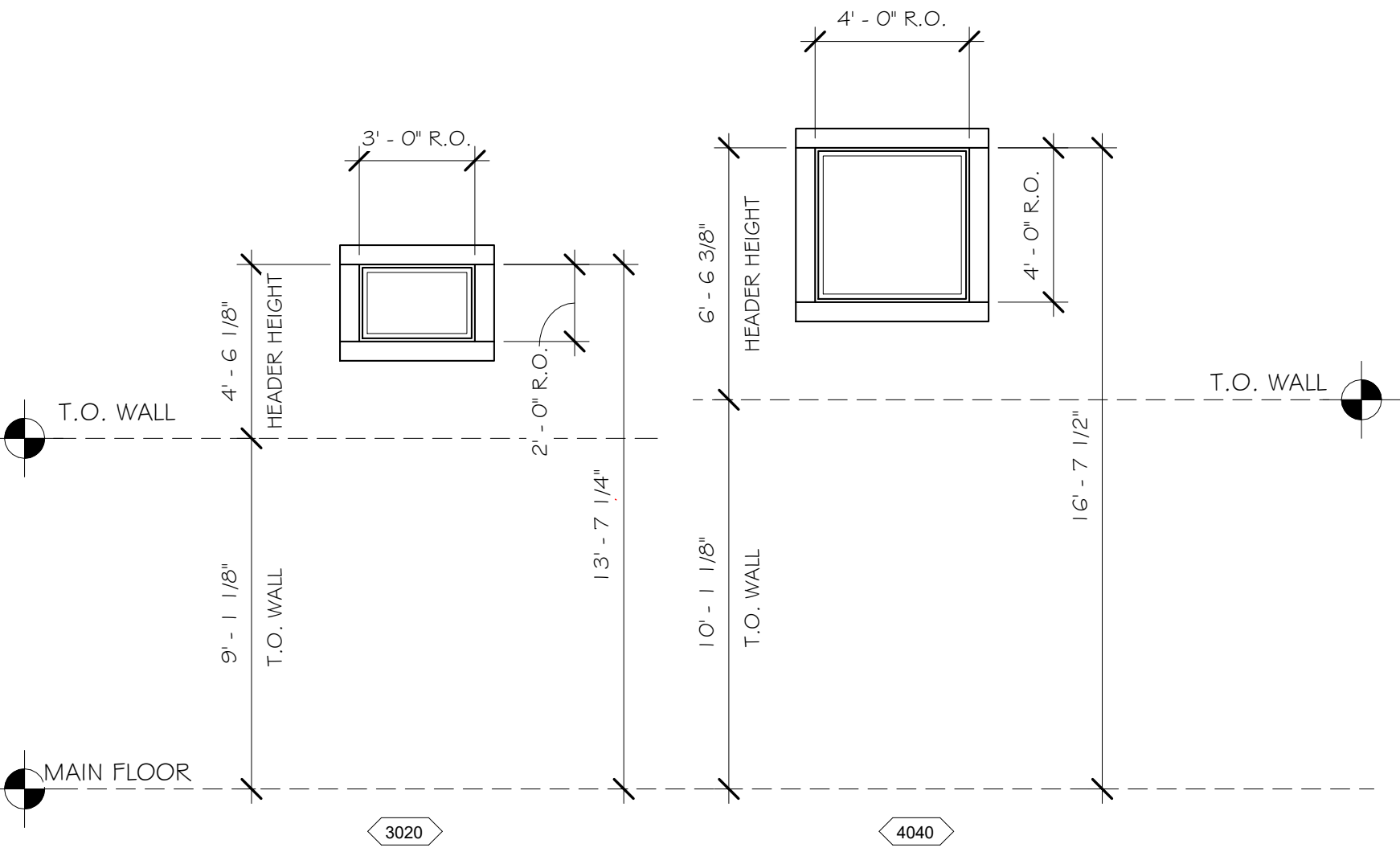
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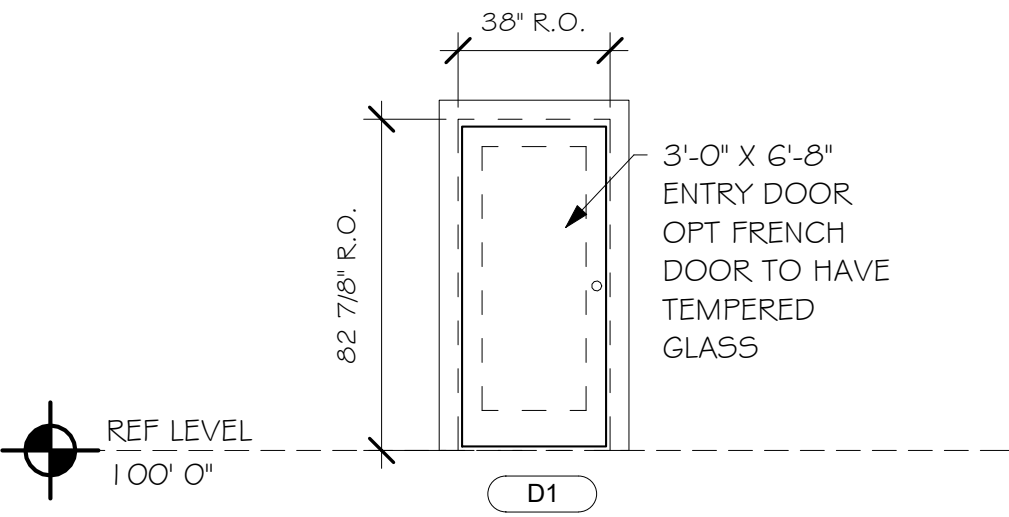
MAIN LEVEL WINDOWS



UPPER WINDOWS

WINDOW ELEVATIONS

SCALE : 1/4" = 1'-0"



DOOR ELEVATION

1/4" = 1'-0"

ALL WINDOWS NEED TO BE RATED FOR HIGH ALTITUDE

WINDOW SCHEDULE													
ITEM #	COUNT	WIDTH	HEIGHT	ROUGH WIDTH	ROUGH HEIGHT	STYLE	MODEL #	MATERIAL	FINISH	EGRESS	TEMPERED	U-VALUE	
BASEMENT													
4G40	1	4' - 5 1/2"	3' - 11 1/2"	4' - 6"	4' - 0"	SLIDER	4-O/4-6 SL	VINYL (1)	ALMOND	Yes	Yes	0.29	
MAIN FLOOR													
2020T	1	1' - 11 1/2"	1' - 11 1/2"	2' - 0"	2' - 0"	RIGHT CASEMENT	2-O/2-O P	VINYL (1)	ALMOND	No	Yes	0.29	
3020	4	2' - 11 1/2"	1' - 11 1/2"	3' - 0"	2' - 0"	FIXED	3-O/2-O P	VINYL (1)	ALMOND	No	No	0.26	
3020T	1	2' - 11 1/2"	1' - 11 1/2"	3' - 0"	2' - 0"	FIXED	3-O/2-O P	VINYL (1)	ALMOND	No	Yes	0.29	
3040L	3	2' - 11 1/2"	3' - 11 1/2"	3' - 0"	4' - 0"	LEFT CASEMENT	3-O/4-O CL	VINYL (1)	ALMOND	Yes	No	0.29	
3040R	4	2' - 11 1/2"	3' - 11 1/2"	3' - 0"	4' - 0"	RIGHT CASEMENT	3-O/4-O CR	VINYL (1)	ALMOND	Yes	No	0.29	
4040F	4	3' - 11 1/2"	3' - 11 1/2"	4' - 0"	4' - 0"	FIXED	4-O/4-O F	VINYL (1)	ALMOND	No	No	0.26	
6013	1	5' - 11 1/2"	1' - 2 1/2"	6' - 0"	1' - 3"	FIXED	6-O/1-3 P	VINYL (1)	ALMOND	No	No	0.26	
P120	4	3' - 11 1/2"	6' - 5 1/2"	4' - 0"	6' - 6"	AWNING	4-O/6-6 P/A	VINYL (1)	ALMOND	No	No	0.30	

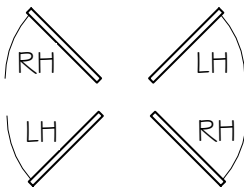
NOTE:

- ALL BASEMENT WINDOWS PROVIDED BY OWNER/CONTRACTOR U.N.O. IN CONTRACT
- ALL BASEMENT WINDOWS LESS THAN 18" ABOVE FINISH GRADE (SUCH AS IN WINDOW WELLS) ARE REQUIRED TO BE TEMPERED.

DOOR SCHEDULE						
DOOR #	WIDTH	COUNT	SWING	HEIGHT	R.O. WIDTH	R.O. HEIGHT
Exterior						
D1	3' - 0"	1	LEFT HAND	6' - 8"	3' - 2"	6' - 8"
D1	3' - 0"	1	RIGHT HAND	6' - 8"	3' - 2"	6' - 8"
Interior						
20G8R	2' - 0"	1	RIGHT HAND	6' - 8"	PER MFG'S SPECS	PER MFG'S SPECS
28G8B	2' - 8"	2	SLIDER "BARN" STYLE	6' - 8"	PER MFG'S SPECS	PER MFG'S SPECS
30G8L	3' - 0"	1	LEFT HAND	6' - 8"	PER MFG'S SPECS	PER MFG'S SPECS
30G8R	3' - 0"	3	RIGHT HAND	6' - 8"	PER MFG'S SPECS	PER MFG'S SPECS
50G8BI	5' - 0"	1	BI-FOLD	6' - 8"	PER MFG'S SPECS	PER MFG'S SPECS

NOTE:

- ALL DOORS PROVIDED BY OWNER/CONTRACTOR U.N.O. IN CONTRACT
- ALL DOORS PURCHASED FOR PRE-MANUFACTURED WALLS SHOULD MATCH ROUGH OPENING SIZES PROVIDED IN SCHEDULE ABOVE



WALL SCHEDULE		
WALL LOCATION	WALL NUMBER	WALL CONTENTS
A	CF-10-28-V1	3030R, 3030L
B	CB-10-28-V1	(4) X P120
BB	CU-10-28-V1	(4) X 4040
C	CS-10-30-V1	30G8, D1
CC	CU-10-30-V1	SHED UPPER WALL MAIN SECTION
D	CS-10-30-V2	30G8FO, D1
DD	CU-10-30-V2	SHED UPPER WALL MAIN SECTION
E	CS-09-20-V1	6013
EE	CU-09-20-V1	SHED UPPER WALL
F	CS-09-20-V2	3040R, 3040L
FF	CU-09-20-V2	SHED UPPER WALL
G	CW-09-20-V1	3040R, 3040L
GG	CU-09-20-V3	(2) X 3020
H	CW-09-20-V2	2020
I	CW-09-20-V3	3040R, 3040L, 3020T
II	CU-09-20-V4	(2) X 3020
J	CW-09-20-V4	3040L, 3040R

SHEET TITLE

SCHEDULES

PLAN NO.:

7014-000

SHEET NO.:

A3.0



Whisper Creek
By Rocky Mountain Homes

1883 Highway 93 South
Hamilton, MT 59840
ph. 406.363.5680
fx. 406.363.6537
wclhdesign@rmlh.com

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BID SET

REVISIONS			
No.	By:	Date:	

PROJECT NAME:

SUMMIT

OWNER:

ADDRESS:

DRAWING TITLE:

SCHEDULES

PROJECT NO.:

7014-000

DRAWN BY:

JCF

CHECKED BY:

MANAGER

DATE:

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SHEET NO.:

A3.0

CF4
CF4
EYEE
EB1
EB2
EYEE
ER1
INTE
CR1
CR2
FOR
PB1
PB2
PB3
PB4
PB5
PB6
FOR
PF1
PP2
PP3
RAIL
BC1
RRP
RRP
TC1
ROC
RP1
RP2
RP3
RP4
RP5
RP6
ROC
RB1
VER
VP2
VP4
VP5
VER
VP1
VP3
VP6



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DESCRIBED HEREON AND NO OTHER.

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PROJECT NAME:

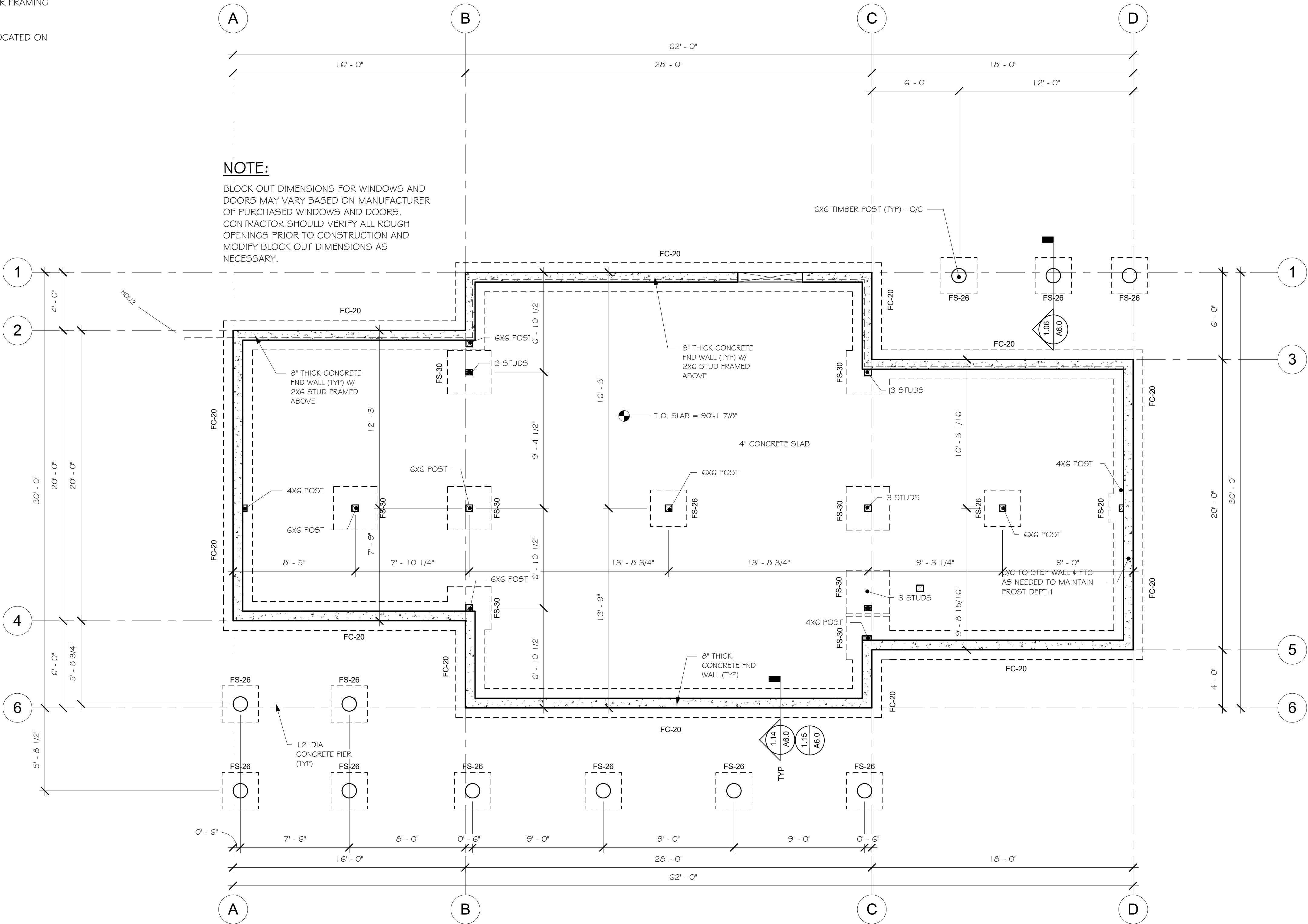
SUMMIT

ADDRESS:

PLAN NO.: 7014-000	PROJECT NO.:	
	DRAWN BY:	JCF
	CHECKED BY:	MANAGER
	DATE:	12/1/2017 2:15:05 PM
	SHEET NO.:	A4.0

FOOTING & FOUNDATION PLAN NOTES

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2. DETAILS ARE NOTED ON THE PLANS IN TYPICAL LOCATIONS AND SHALL BE REPEATED WHERE SIMILAR CONDITIONS EXIST. SEE TYPICAL DETAILS AND GENERAL NOTES.
3. SEE SHEETS S-4.0 FOR STRUCTURAL NOTES & DETAILS.
4. SEE PLANS, SHEAR WALL NOTES, AND SCHEDULE FOR WALL SHEATHING AND ANCHOR BOLTS.
5. N.O. MINIMUM ANCHOR BOLTS SHALL BE 5/8" Ø WITH 7 INCHES MIN EMBED INSTALLED AT 32 INCHES MAX ON CENTER. PLATE WASHERS A MINIMUM OF 3 INCHES BY 3 INCHES BY 1/4 INCH THICK SHALL BE USED ON EACH BOLT.
6. FOUNDATION WALLS SHALL BE Laterally supported until support members (floor framing and slabs) have been installed.
7. BASEMENT WINDOWS SHALL BE INSTALLED TO MEET EGRESS, LIGHT AND VENTILATION REQUIREMENTS PER IBC. WINDOWS, FRAMES AND AREA WELLS ARE FURNISHED AND LOCATED ON SITE BY CONTRACTOR.



LEGEND

FC-1-8 INDICATES FOOTING TYP. SEE FOOTING SCHEDULE.
FS-26 INDICATES STP IN FOOTING SEE FOOTING & FOUNDATION DETAIL.
HDO-3/PHD-2/MST-48 INDICATES LOCATIONS FOR SIMPSON HOLDOWN. SEE NOTES & HOLDOWN DETAILS.

FOOTING SCHEDULE

SEE STRUCTURAL DESIGN INFORMATION & STRUCTURAL NOTES FOR DESIGN CRITERIA

NO.	WIDTH	LENGTH	THICKNESS	CROSSWISE REINFORCING			LENGTHWISE REINFORCING		
				NO.	SIZE	LENGTH	NO.	SIZE	LENGTH
FC-1-8	1' - 8"	CONT.	8"	2	#4	CONT.	2	#4	CONT.
FC-20	2' - 0"	CONT.	10"				2	#4	CONT.
FS-20	2' - 0"	2' - 0"	10"	2	#4	1' - 6"	2	#4	1' - 6"
FS-26	2' - 6"	2' - 6"	10"	3	#4	2' - 0"	3	#4	2' - 0"
FS-30	3' - 0"	3' - 0"	10"	3	#4	2' - 6"	3	#4	2' - 6"
FS-36	3' - 6"	3' - 6"	12"	4	#4	3' - 0"	4	#4	3' - 0"
FS-40	4' - 0"	4' - 0"	12"	5	#4	3' - 6"	5	#4	3' - 6"
FS-46	4' - 6"	4' - 6"	12"	5	#4	4' - 0"	5	#4	4' - 0"
FS-50	5' - 0"	5' - 0"	12"	5	#4	4' - 6"	5	#4	4' - 6"
FS-56	5' - 6"	5' - 6"	12"	5	#5	5' - 0"	5	#5	5' - 0"
FS-60	6' - 0"	6' - 0"	12"	6	#5	5' - 6"	6	#5	5' - 6"
FS-66	6' - 6"	6' - 6"	12"	7	#5	6' - 0"	7	#5	6' - 0"

SPACE REINF. EVENLY THROUGH FOOTING W/ 3" CLEARANCE AT OUTSIDE EDGE

FTG & FOUNDATION PLAN

1/4" = 1'-0"

FOUNDATION PLAN

7014-000

S1.0

Whisper Creek

By Rocky Mountain Homes

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BID SET

REVISIONS		
No.	By:	Date:

PROJECT NAME:

SUMMIT

OWNER:

ADDRESS:

DRAWING TITLE:

FOUNDATION PLAN

PROJECT NO.:

7014-000

DRAWN BY:

JCF

CHECKED BY:

MANAGER

DATE:

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SHEET NO.:

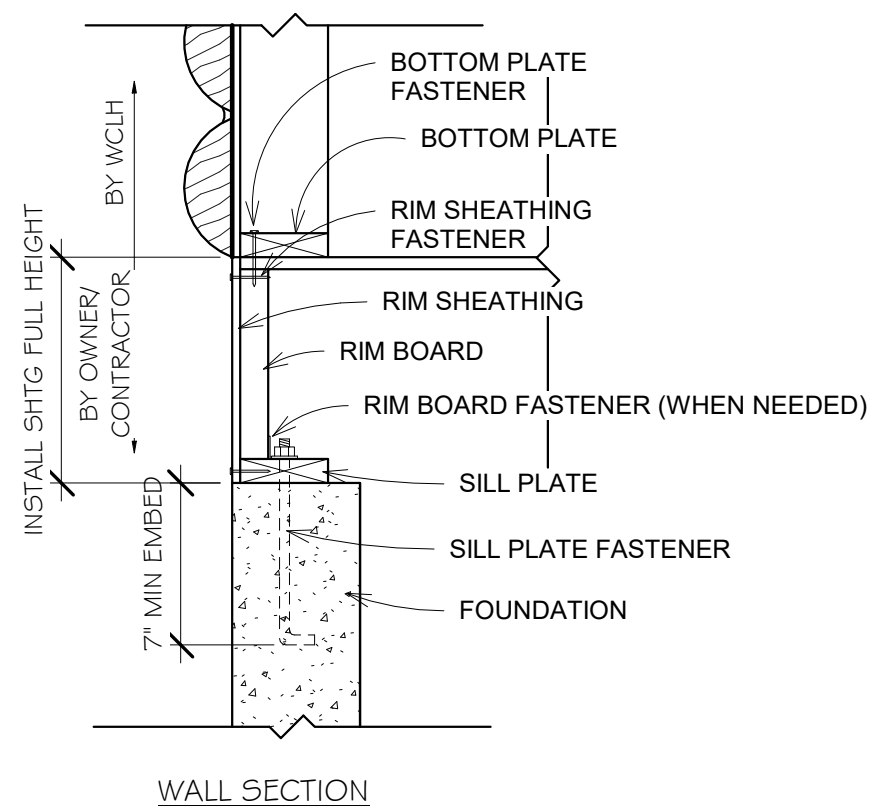
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FLOOR FRAMING PLAN NOTES

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3. SEE SHEETS 5-4.0 & 5-5.0 FOR STRUCTURAL NOTES & DETAILS.
4. PLACE 2 STUDS MINIMUM AT ALL BEAMS, HEADERS AND GIRDER TRUSS BEARING POINTS WITH SPANS GREATER THAN SIX FEET, UNLESS NOTED OTHERWISE. MULTIPLE STUDS AND COLUMNS SHALL EXTEND CONTINUOUS TO FOUNDATION OR SUPPORTING BEAM BELOW. USE MULTIPLE SOLID BLOCKING AT FLOORS.
5. SEE FLOOR SHEATHING NOTES FOR FLOOR SHEATHING SIZE & NAILING.
6. AT FLUSH BEAMS USE SIMPSON ITT SERIES (WEB JOISTS) OR JB SERIES (WOOD JOISTS) TOP FLANGE JOIST HANGERS EACH JOIST U.N.O.
7. ARRANGE JOIST LOCATIONS AT BATHROOM AND KITCHEN AREAS TO AVOID CONFLICT WITH PLUMBING.
8. FLOOR JOISTS UNDER FIREPLACE HEARTHS MAY NEED SPACING REDUCED AND/OR SUBSTITUTED W/ LVL'S TO SUPPORT THE ADDED LOADING. VERIFY W/ ENGINEER.
9. HOT TUBS OR OTHER OWNER INSTALLED ITEMS THAT IMPOSE HEAVY LOADS ON STRUCTURAL MEMBERS WILL REQUIRE ADDITIONAL ENGINEERING IF NOT SHOWN ON ORIGINAL PLANS USED FOR DESIGN. STRUCTURAL MEMBERS MAY NEED TO BE INCREASED FOR THE ADDITIONAL IMPOSED LOADING.
10. ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED LUMBER OR FOUNDATION REDWOOD. ALL WOOD SUPPORT MEMBERS EXPOSED TO WEATHER SHALL BE TREATED OR PROTECTED TO PREVENT MOISTURE OR WATER ACCUMULATION ON THE SURFACE.D FOR THE ADDITIONAL IMPOSED LOADING.

KEYED NOTES

1. INSTALL LVL BEAMS IN PLACE OF JOISTS FOR HEAVY FIREPLACE/HEARTH (VERIFY w/ ARCHITECT OR RECORD).



WALL BASE CONNECTION

NOT TO SCALE

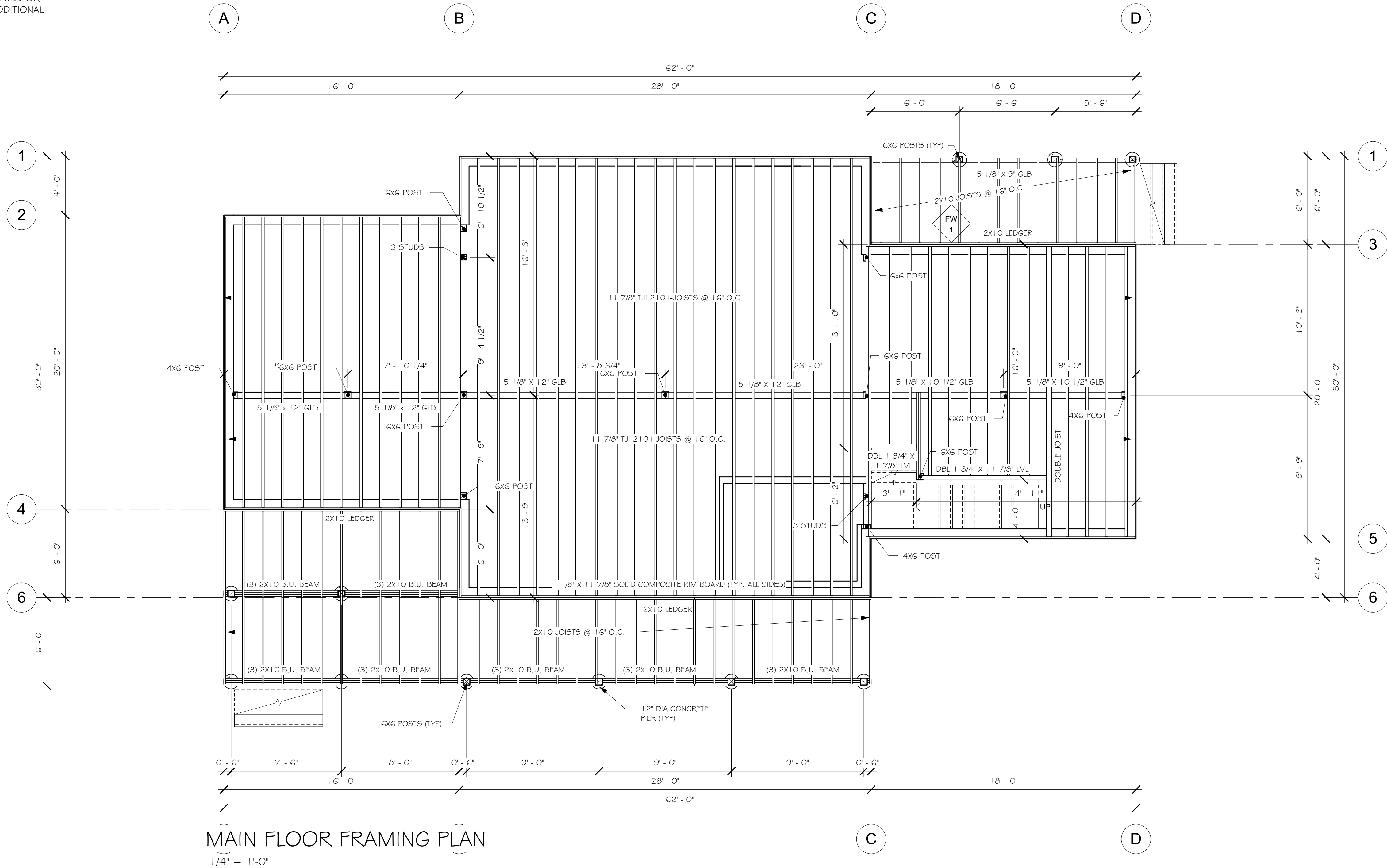
WALL BASE CONNECTION SCHEDULE	
LOCATION	FASTENER OR MEMBER
BOTTOM PLATE	2X6 X CONT
FASTENER	1 6d NAILS @ EA JST, BLKG # CONT @ 3'-1/2" O.C.
RIM SHEATHING	7/16" APA 2 4/16 EXT SHTG
FASTENER	8d NAILS @ 3'-1/8" O.C. ALL EDGES
RIM BOARD	1-1/8" MIN LVL RIM BOARD
FASTENER TO SILL PLATE OR TOP PLATE	A35'S @ 24" O.C. (ONLY REQ'D W/GABLE END DOOR OR WINDOW FEATURE WALLS)STAINLESS TSTL OR Z-MAS @ TREATED PLATE
SILL PLATE	2X6 X CONT PRESSURE TREATED
FASTENER	5/8" DIA A.B @ 32" O.C. U.N.O. (2,3)

WALL BASE CONNECTION

SCALE: NOT TO SCALE

FLOOR SHEATHING

1. TYPICAL FLOOR SHEATHING SHALL BE 3/4 IN., T&G APA RATED 48/24 EXPOSURE 1 SHEATHING NAILED WITH 10d NAILS AT 6 IN. O.C. AT ALL PANEL ENDS, SUPPORTED EDGES, TOP OF SHEAR WALLS (ALL EXTERIOR WALLS ARE SHEAR WALLS) AND ALL BLOCKING; 10d AT 12 IN. O.C. ALONG INTERMEDIATE FRAMING MEMBERS. NAILING SHALL BE SPACED AT 3/8 IN. MIN FROM EDGE OF PANEL.
2. LAY SHEATHING WITH FACE GRAIN AT RIGHT ANGLES TO FRAMING WITH END JOINTS STAGGERED (SEE TYPICAL DETAILS).
3. BLOCK JOISTS SOLID AT ALL BEARING POINTS.



MAIN FLOOR FRAMING PLAN

1/4" = 1'-0"

SHEET TITLE
**MAIN FLOOR
FRAMING PLAN**

SHEET NO.
S2.0

PLAN NO.:
7014-000

**Whisper Creek**
By Rocky Mountain Homes

1883 Highway 93 South
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BID SET

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No.	By:	Date:

PROJECT NAME:

SUMMIT

OWNER:

ADDRESS:

DRAWING TITLE:

**MAIN FLOOR
FRAMING PLAN**

PROJECT NO.:
7014-000

DRAWN BY:
JCF

CHECKED BY:
MANAGER

DATE:
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SHEET NO.:
S2.0

ROOF FRAMING PLAN NOTES

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3. SEE SHEETS S-4.0, S-5.0, & S-5.1 FOR STRUCTURAL NOTES & DETAILS.
4. SEE DESIGN PLANS FOR DIMENSIONS. DO NOT SCALE STRUCTURAL DRAWINGS.

ADDITIONAL NOTE:

ALL VENTILATION OF THE ROOF SYSTEM IS THE RESPONSIBILITY OF THE CONTRACTOR.

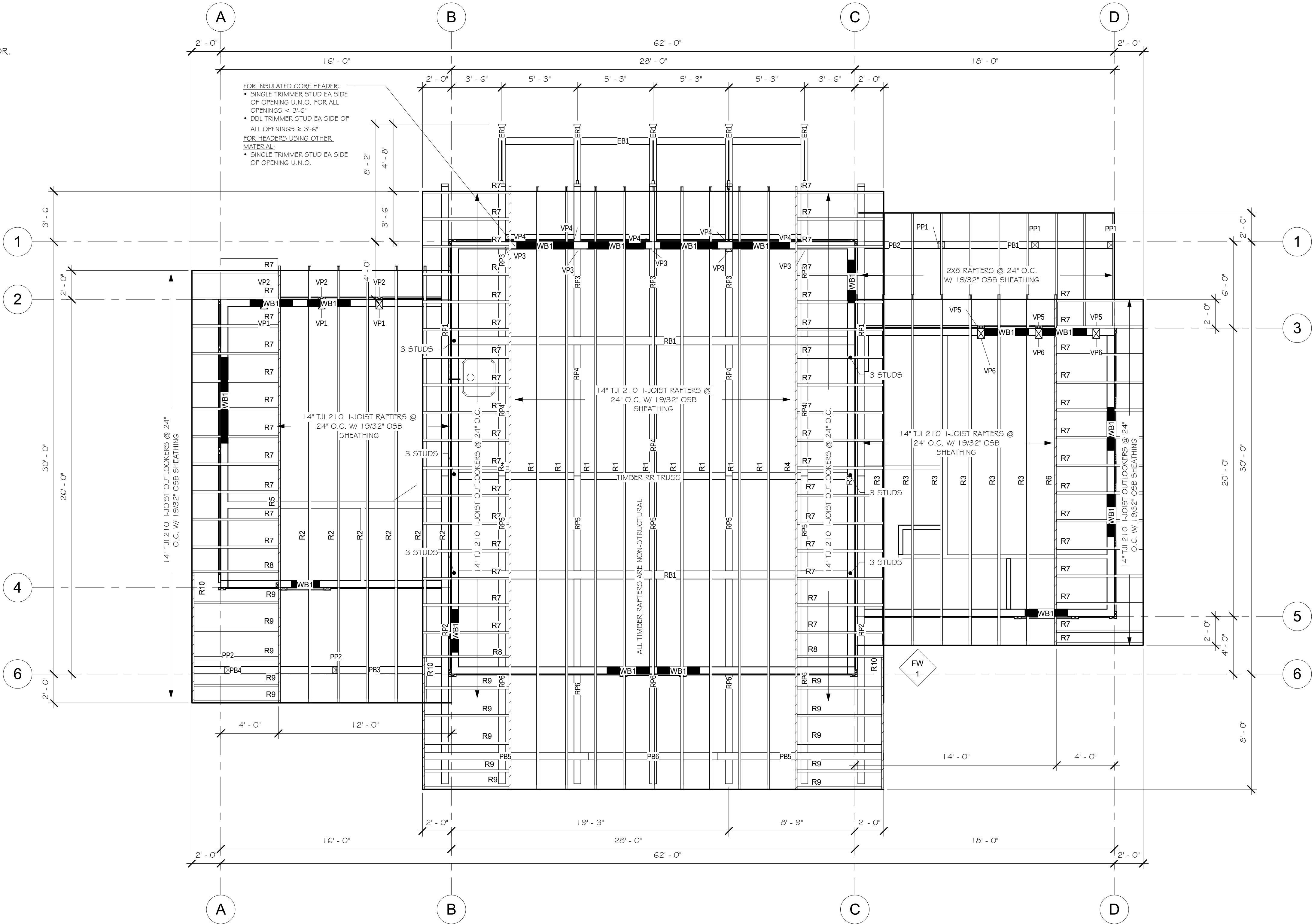
ATTIC VENTILATION NOTES

PROVIDE FOR CROSS VENTILATION FOR ENCLOSED ATTICS AND SPACES BETWEEN RAFTERS FOR EACH SEPARATE SPACE. VENTILATION OPENINGS SHALL BE PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. THE TOTAL NET FREE VENTILATION AREA SHALL NOT BE LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED. THIS MAY BE REDUCED TO NOT LESS THAN 1 TO 300 IF: (1) OPENINGS ARE PROVIDED IN THE UPPER AND LOWER PORTIONS OF THE VENTILATED SPACE, OR (2) A 1 PERM VAPOR BARRIER IS INSTALLED ON THE WARM SIDE OF THE CEILING. PROVIDE A 1 INCH INSULATION BAFFLE BETWEEN THE INSULATION AND THE ROOF SHEATHING AT ALL LOCATIONS OF THE VENT. PROVIDE VENTILATION OPENINGS WITH CORROSION-RESISTANT WIRE MESH WITH 1/8 INCH MIN TO 1/4 INCH MAX OPENINGS.

HEADER SCHEDULE	
TYPE MARK	MATERIAL
WB1	(2) 1 1/4" X 1 1/4" LVL w/ INSULATION CORE
WB2	(3) 1 3/4" X 1 4" LVL
WB3	(3) 1 3/4" X 6 3/8" LVL

RAFTER SCHEDULE			
RAFTER #	COUNT	LENGTH	MATERIAL
LVL RAFTER			
R4	2	43' - 2 3/4"	1 3/4" x 1 4" LVL
R5	1	31' - 3"	1 3/4" x 1 4" LVL
R6	1	25' - 0 1/16"	1 3/4" x 1 4" LVL
R8	3	6' - 0"	1 3/4" x 1 4" LVL
R10	3	9' - 2 1/8"	1 3/4" x 1 4" LVL
RAFTER			
R1	9	43' - 2 3/4"	1 4" TJI 210 I-JOIST
R2	6	31' - 3"	1 4" TJI 210 I-JOIST
R3	7	25' - 0"	1 4" TJI 210 I-JOIST
R7	59	6' - 0"	1 4" TJI 210 I-JOIST
R9	15	5' - 10 1/4"	1 4" TJI 210 I-JOIST

ROOF BEAM SCHEDULE			
ITEM #	COUNT	LENGTH	DESCRIPTION
PORCH BEAM			
PB1	1	12' - 0"	5 1/2" X 8" R.S. TIMBER BEAM W/ PITCH CUT TOP
PB2	1	6' - 6"	5 1/2" X 8" R.S. TIMBER BEAM W/ PITCH CUT TOP
PB3	1	8' - 6"	5 1/2" X 8" R.S. TIMBER BEAM W/ PITCH CUT TOP
PB4	1	10' - 0"	5 1/2" X 8" R.S. TIMBER BEAM W/ PITCH CUT TOP
PB5	2	11' - 6"	5 1/2" X 8" R.S. TIMBER BEAM W/ PITCH CUT TOP
PB6	1	9' - 0"	5 1/2" X 8" R.S. TIMBER BEAM W/ PITCH CUT TOP
RAILROAD TRUSS			
BC1	1	28' - 0"	6X10 R.S. TIMBER BEAM
RRP1	5	1' - 7 7/8"	6X6 R.S. TIMBER POST
RRP2	2	1' - 7 7/8"	6X12 R.S. TIMBER POST
TC1	1	28' - 0"	6X10 R.S. TIMBER BEAM
ROOF SUPPORT BEAM			
RB1	2	27' - 11 1"	6 3/4" X 24" GLULAM BEAM



ROOF FRAMING PLAN

1/4" = 1'-0"

ROOF FRAMING PLAN

7014-000

S3.0

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DRAWING TITLE:

ROOF FRAMING PLAN

PROJECT NO.:

7014-000

DRAWN BY: JCF

CHECKED BY: MANAGER

DATE: 12/1/2017 2:15:07 PM

SHEET NO.:

S3.0